

DARDENNE



PRAIRIE

CITY OF DARDENNE PRAIRIE  
2032 HANLEY ROAD  
DARDENNE PRAIRIE, MO 63368

PLANNING AND ZONING COMMISSION AGENDA  
WORK SESSION  
NOVEMBER 13, 2024  
6:00 p.m.

---

CALL MEETING TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

Alderman Detweiler

Chairman Etzkorn

Commission members:

Bailey

Fry

Musler

Northcutt

Ogle

Pollard

Stankovich

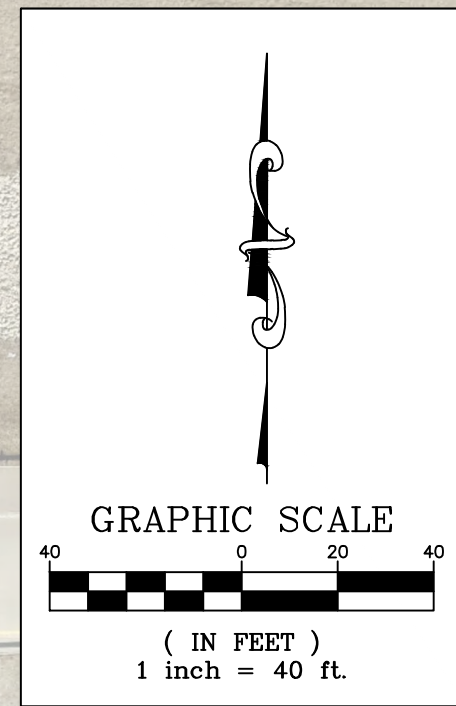
Wooldridge

ITEMS FOR DISCUSSION

1. **CUP & Area Plan Request – Prairie Ridge Animal Hospital:** Engenuity has submitted a CUP Application to allow “veterinarian, animal hospital, kennel or dog pound, if within an enclosed building” as permitted uses and an Area Plan for a 8,200 SF veterinarian hospital on Lot 6 of the Prairie Encore located on the north side of Fiese Road, just west of Bryan Road. The site is 1.6 acres and zoned “C3” Retail Commercial “PUD” Planned Unit Development and more particularly described in the CUP Application received on September 10, 2024, on file with the City Clerk from Applicant.
2. **CUP & Site Plan Request – Pleated Boutique:** Civil & Environmental Consultants, Inc, on behalf of Lisa Rose, Co-Owner, Pleated Boutique has submitted a CUP Application to allow a 3,000 square feet retail establishment with an 8,895 square foot warehouse located between Technology Drive and La Le Driver off Merz Farm Lane and adjacent to Crown Restauration. The site is 1.39 acres and zoned “C3” Retail Commercial and more particularly described in the CUP & Site Plan Applications received on September 8, 2024, on file with the City Clerk from Applicant.
3. **Town Square Apartments- Minor Change:** The Fire Marshall is requesting minor amendments to the approved Final Plan that will need P&Z review & approval. This item is for discussion only, no action is being considered at this meeting.
4. ADJOURNMENT



LOCATION MAP  
NO SCALE

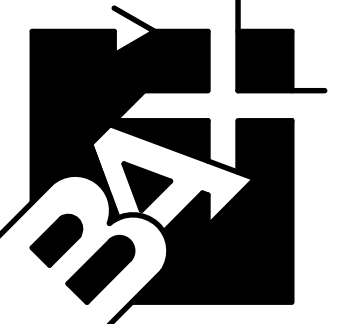


**DEVELOPMENT NOTES:**

- THIS PROPERTY IS REFERENCED AS THE FOLLOWING PARCEL I.D. NUMBERS OF THE ST. CHARLES COUNTY ASSESSOR'S OFFICE:  
PARCEL ID: 4-0033-C218-00-0002.0000000 (5.57 ACRES)  
4-0033-C218-00-000C.0000000 (1.76 ACRES)  
APARTMENT SITE WILL INCLUDE 6.34 ACRES OF DEVELOPMENT, THE REMAINING 0.99 ACRES WILL BE THE DETENTION BASIN
- EXISTING ZONING: C-3 PUD - MULTI-FAMILY
- SITE ADDRESS: TECHNOLOGY DRIVE  
DARDENNE, MO 63368
- PROPOSED USE: APARTMENTS  
OWNER: ZM MANAGEMENT  
1100 WOODCHASE DRIVE  
CHESTERFIELD, MO 63017
- BUILDING SETBACKS:  
FRONT YARD = 25 FEET (EXEMPTIONS APPROVED AT NORTH PROPERTY LINE UNDER PUD TO BE LESS THAN 25 FEET)  
SIDE YARD = 10 FEET  
REAR YARD = 15 FEET (EXEMPTIONS APPROVED AT SOUTH PROPERTY LINE UNDER PUD TO BE LESS THAN 15 FEET)
- PARKING REQUIREMENTS:  
CITY CODE 3 SPACES PER UNIT  
144 UNITS X 3 = 432 SPACES  
PUD EXEMPTION APPROVAL ALLOWED FOR 1.64 PARKING SPACES/UNIT.  
THIS SUBMITTAL HAS A TOTAL ONSITE PARKING COUNT OF 282 SPACES AT 1.96 SPACES/UNIT.  
  
TOTAL 1 BED UNITS 48  
TOTAL 2 BED UNITS 84  
TOTAL 3 BED UNITS 12  
TOTAL UNITS ONSITE 144  
  
PUD EXEMPTION ALLOWED FOR A DENSITY GREATER THAN 12 UNITS/ACRE (25.6 UNITS/ACRE)  
THIS SUBMITTAL HAS A TOTAL DENSITY OF 22.7 UNITS/ACRE

A CONCEPT PLAN FOR  
**APARTMENT BUILDINGS**  
TECHNOLOGY DRIVE  
DARDENNE PRAIRIE, 63368

PREPARED FOR:  
ZM MANAGEMENT  
1100 WOODCHASE DRIVE  
CHESTERFIELD, MO 63017  
314-479-2887



**ENGINEERING  
PLANNING  
SURVEYING**

221 Point West Blvd.  
St. Charles, MO 63301  
636-928-5552  
FAX 928-1718

Box Engineering Company, Inc.  
Missouri State Certificate of Authority  
Engineering #000655  
Missouri State Certificate of Authority  
Surveying #00144

**REVISIONS**

NO.	DATE	DESCRIPTION

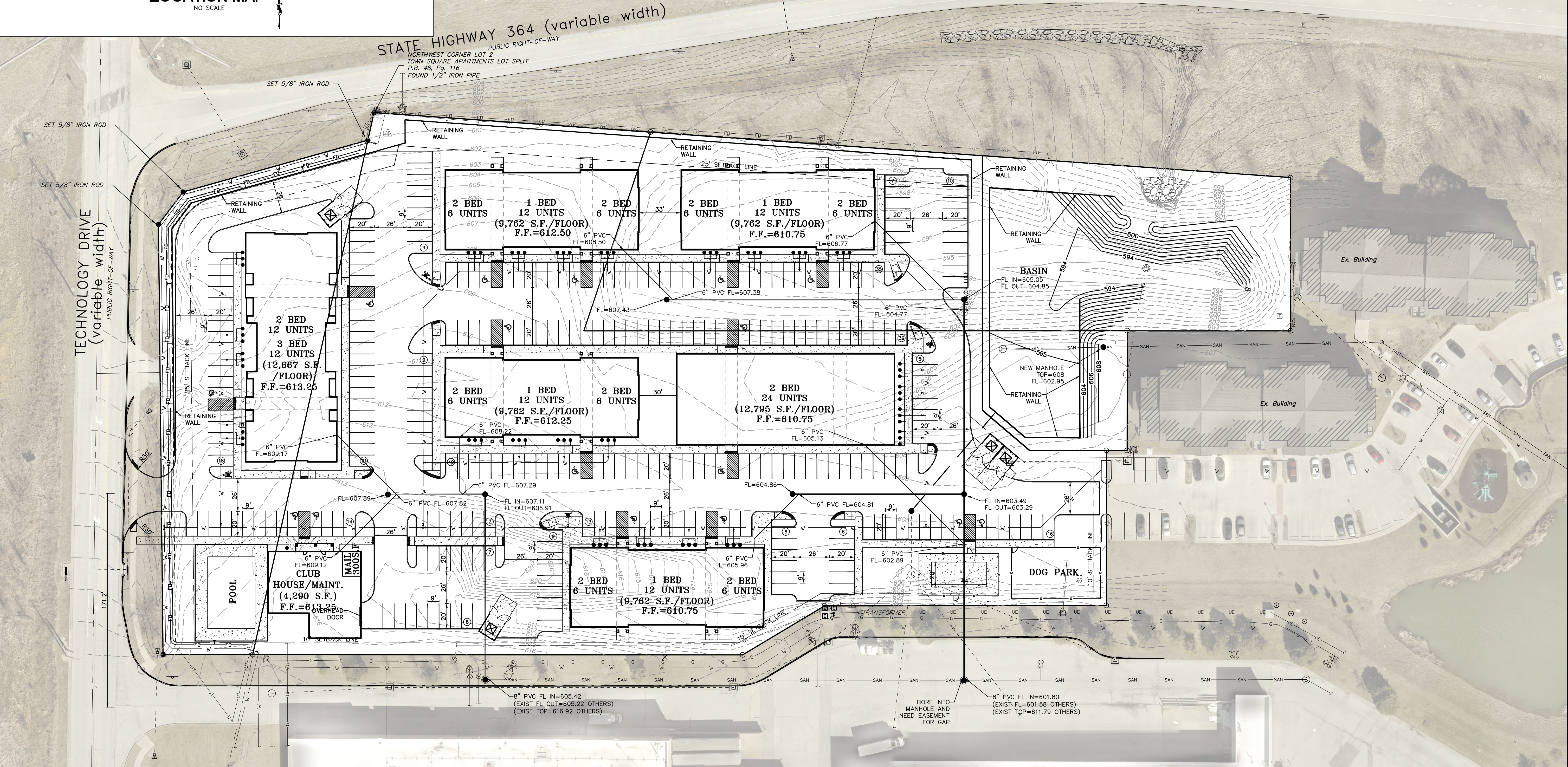
DISCLAIMER OF RESPONSIBILITY  
I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.

CLIFFORD L. HEITMANN  
Civil Engineer  
Engineers License E-29817

11-4-24  
DATE  
24-19350  
PROJECT NUMBER  
19350concept14  
FILE NAME  
SWR  
DRAWN  
SWR CLH  
DESIGNED CHECKED

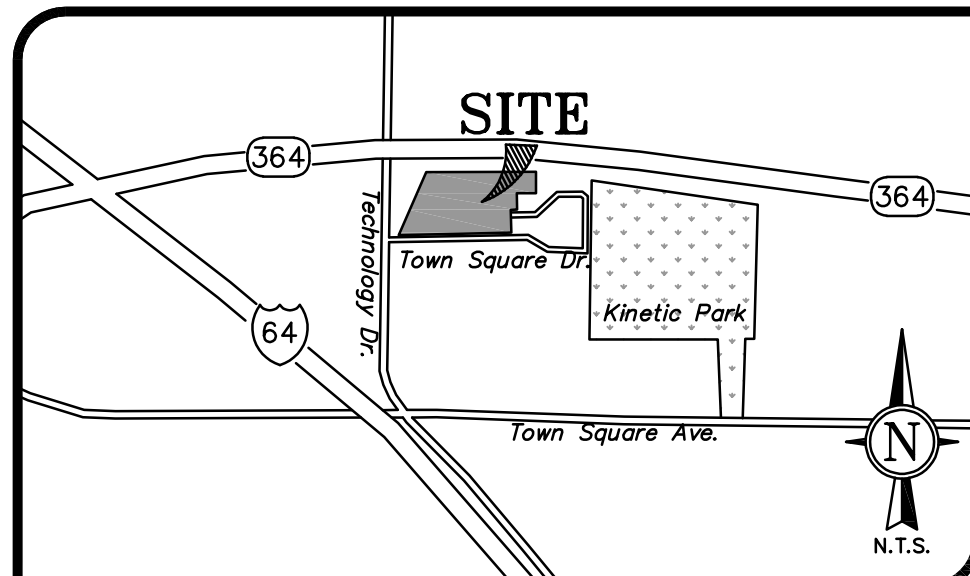
COVER SHEET

C-1



TOPO AND BOUNDARY SHOWN HAVE BEEN PROVIDED BY OTHERS AND USED IN THIS LAYOUT. BAX ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR OMISSION OF FIELD DATA THAT MAY EXIST AT THIS SITE.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.



THIS PROPERTY WILL BE SERVED BY THE FOLLOWING UTILITIES.

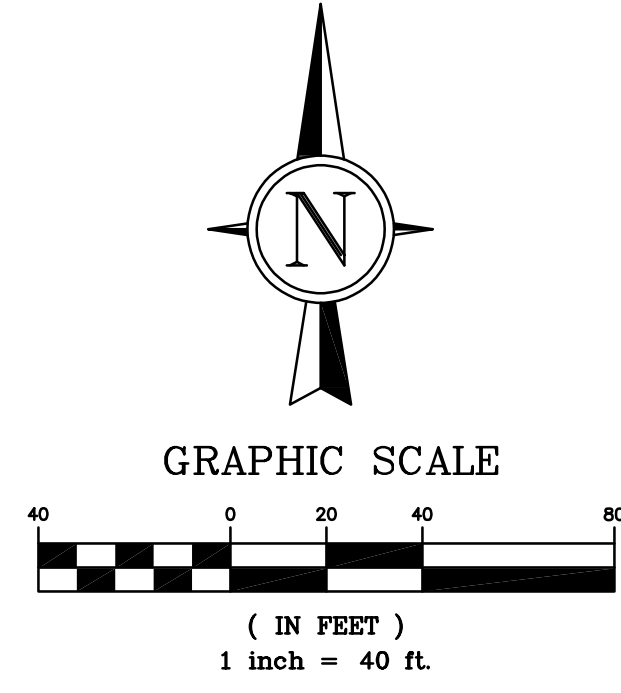
ELECTRIC: AMEREN MISSOURI 866-992-6619  
 FIRE: WENTZVILLE FIRE PROTECTION DISTRICT 636-532-9869  
 GAS: AMEREN MISSOURI 866-992-6619  
 SANITARY: DUCKETT CREEK 636-441-1244  
 TELEPHONE: CENTURYLINK TELEPHONE COMPANY 636-970-0132  
 WATER: PUBLIC WATER DISTRICT #2 636-561-3737  
 INTERNET: CHARTER COMMUNICATIONS 636-265-0140

**EXEMPTIONS (WAIVER REQUIRED)**

1. PROPOSED SETBACK ON NORTH PROPERTY IS LESS THAN 25' (PLAT BOOK 42 PAGE 305)
2. PROPOSED SETBACK ON SOUTH PROPERTY IS LESS THAN 15' (CODE SECTION 405.195)
3. NET DENSITY (DWELLING UNITS PER ACRE) IS GREATER THAN 12 (CODE SECTION 405.175)
4. PARKING PROVIDED IS LESS THAN REQUIRED (CODE SECTION 405.635)

--- Legal Description from Referenced Title Commitment ---

TRACT 1:  
 LOT 2 OF TOWN SQUARE APARTMENTS LOT SPLIT, A SUBDIVISION IN ST. CHARLES COUNTY, MISSOURI, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 48 PAGE 116 OF THE ST. CHARLES COUNTY RECORDS.



**SITE DENSITY:**  
 INCLUSIVE OF NON RESIDENTIAL USES:  
 154 UNITS/6.07 ACRES = 25.4 UNITS/ACRE  
 EXCLUSIVE OF NON RESIDENTIAL USES:  
 154 UNITS/6.01 ACRES = 25.6 UNITS/ACRE

**UNIT BREAKDOWN**

TYPE	# OF UNITS
1 BR UNITS	54
2 BR UNITS	78
3 BR UNITS	22
<b>TOTAL UNITS</b>	<b>154</b>

TOTAL LOT AREA 6.07 Ac.	
EXISTING	
BUILDING	0.00 Ac.
PAVEMENT	0.00 Ac.
OPEN SPACE	6.07 Ac.
FAR	0.00
<b>PROPOSED</b>	
BUILDING	1.54 Ac.
PAVEMENT	2.77 Ac.
OPEN SPACE	1.76 Ac.
FAR	0.25

**PARKING SUMMARY**

TYPE	STANDARD	ACCESSIBLE	TOTAL
SURFACE	216	7	223
GARAGE	42	0	42
<b>TOTAL</b>	<b>258</b>	<b>7</b>	<b>265</b>

RETAIL REQUIRED PER CODE:  
 10 PS + 1 PS PER 400 SF IN EXCESS OF FIRST 2,000 SF  
 10 PS + (2,840 SF - 2,000 SF)/400 SF = 12.1 PS = 12 PS

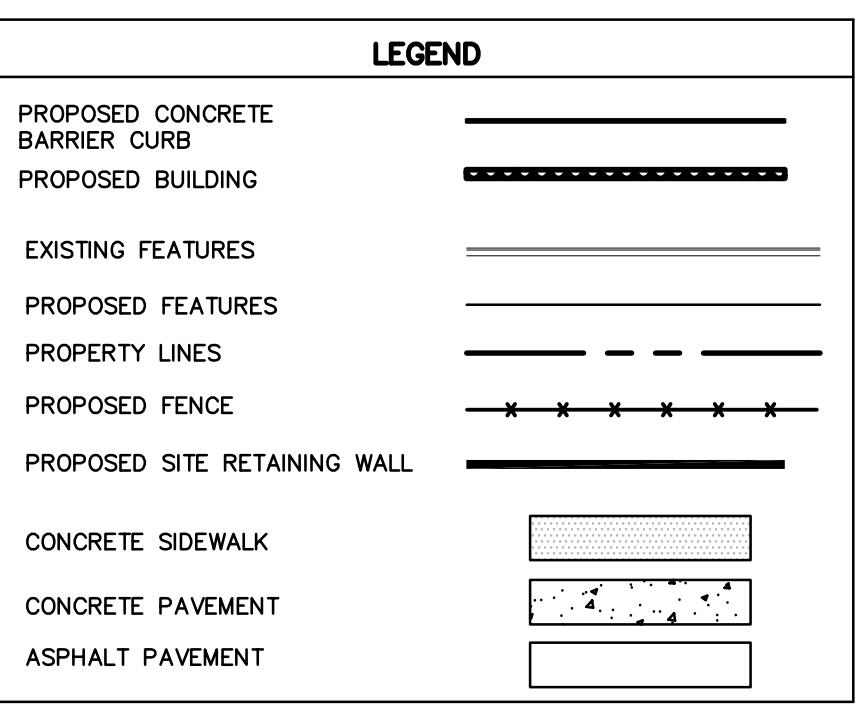
RETAIL PROVIDED:  
 TOTAL RETAIL PARKING STALLS PROVIDED = 12 PS

MULTI-FAMILY REQUIRED PER CODE:  
 3 PS PER UNIT  
 154 UNITS \* 3 = 462 PS

MULTI-FAMILY PROVIDED:  
 TOTAL MULTI-FAMILY PARKING STALLS PROVIDED = 253 PS  
 253 PS = 1.64 PS PER UNIT

TOTAL PARKING PROVIDED FOR DEVELOPMENT = 265 PS

MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED = 7, WHERE THE TOTAL NUMBER OF SPACES IS BETWEEN 201 AND 300, PER ADAG. NUMBER OF ACCESSIBLE SPACES PROVIDED = 7.



**PERTINENT DATA**

PROPERTY OWNER: MOLINE MANAGEMENT LLC  
 205 W. WALNUT ST. SUITE 205  
 SPRINGFIELD, MO 65806

PROPOSED ZONING: C3  
 PARCEL ID: 4-0033-C218-00-0002.0000000  
 ADDRESS: TECHNOLOGY DRIVE 63368  
 SITE AREA: 6.07± AC (264,372 SQ. FT.)  
 PROP. USE: MULTI-FAMILY  
 WATER DISTRICT: PWSD #2  
 FIRE DISTRICT: WENTZVILLE  
 SCHOOL DISTRICT: WENTZVILLE



GRIMES CONSULTING, INC.  
 12300 OLD TESSON RD.  
 SUITE 3000  
 ST. LOUIS, MO 63128  
 PH (314) 849-6100  
 FAX (314) 849-6010  
 www.grimesconsulting.com  
 PE COAF E-1470-D  
 FLS COAF LS-343-D

REV. NO.	DATE	REMARKS
1	12/07/22	MODOT R/W MODIFICATION

FINAL DEVELOPMENT PLAN FOR  
**DARDENNE PRAIRIE  
 APARTMENTS**

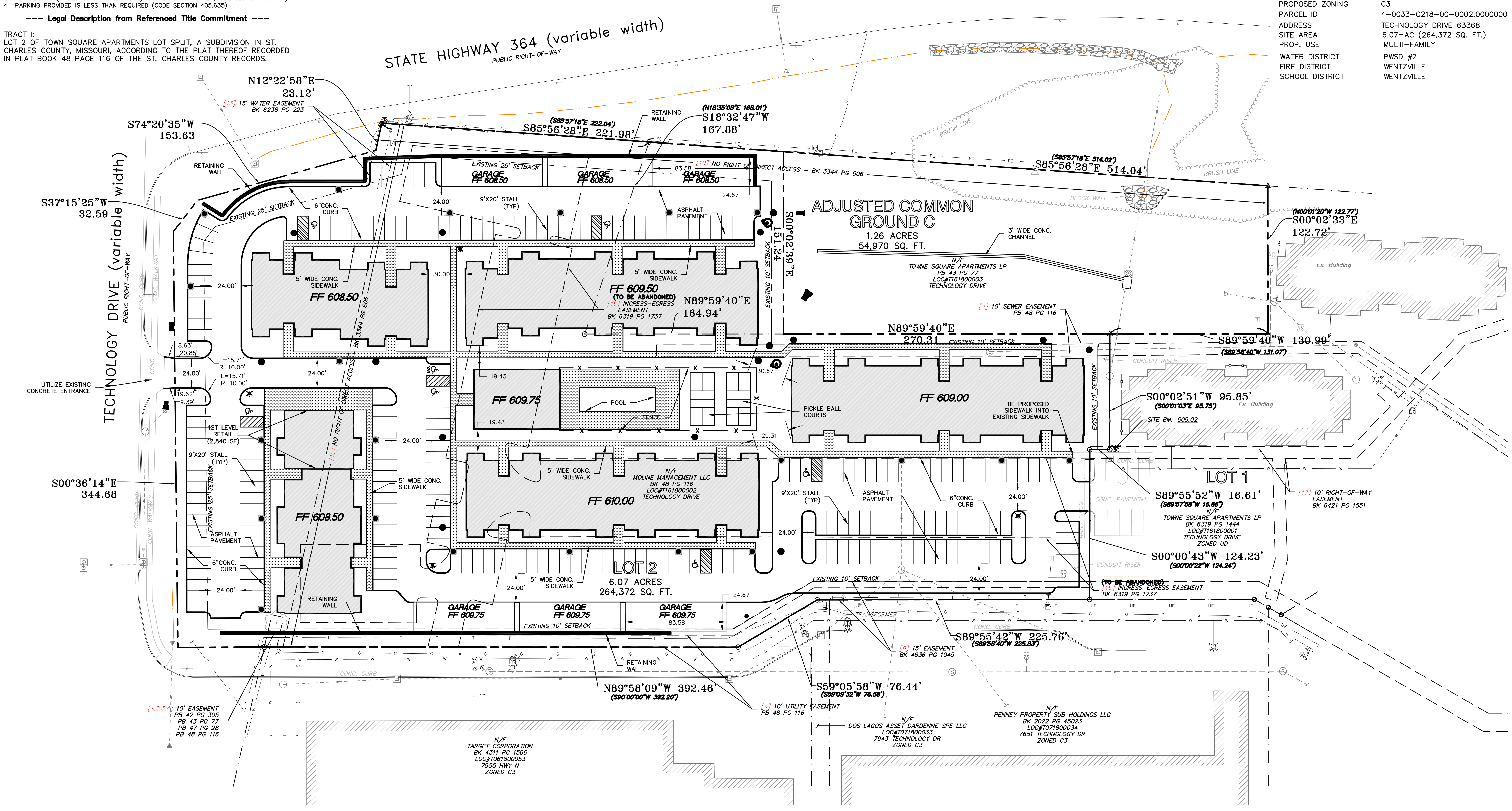
FINAL DEVELOPMENT PLAN

JOB NUMBER: 3884  
 DRAWN BY: JRB  
 DATE: 03/15/23  
 CHECKED BY: LJM  
 DATE: 03/15/23  
 SHEET:

**FDP2**

ZIP CODE 63386

J:\3884\Drawings\Engineering\SDP\3884\_Site.dwg 15/03/2023 5:06 PM Jacob Broomey



DARDENNE



PRAIRIE

CITY OF DARDENNE PRAIRIE  
2032 HANLEY ROAD  
DARDENNE PRAIRIE, MO 63368

PLANNING AND ZONING COMMISSION AGENDA  
NOVEMBER 13, 2024  
7:00 p.m.

---

CALL MEETING TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL Alderman Detweiler  
Chairman Etzkorn  
Commission members:  
Bailey  
Fry  
Musler  
Northcutt  
Ogle  
Pollard  
Stankovich  
Wooldridge

PUBLIC COMMENT

PUBLIC HEARINGS

- 1. CUP & Area Plan Request – Prairie Ridge Animal Hospital:** Engenuity has submitted a CUP Application to allow “veterinarian, animal hospital, kennel or dog pound, if within an enclosed building” as permitted uses and an Area Plan for a 8,200 SF veterinarian hospital on Lot 6 of the Prairie Encore located on the north side of Fiese Road, just west of Bryan Road. The site is 1.6 acres and zoned “C3” Retail Commercial “PUD” Planned Unit Development and more particularly described in the CUP Application received on September 10, 2024, on file with the City Clerk from Applicant.
- 2. CUP & Site Plan Request – Pleated Boutique:** Civil & Environmental Consultants, Inc, on behalf of Lisa Rose, Co-Owner, Pleated Boutique has submitted a CUP Application to allow a 3,000 square feet retail establishment with an 8,895 square foot warehouse located between Technology Drive and La Le Driver off Merz Farm Lane and adjacent to Crown Restauration. The site is 1.39 acres and zoned “C3” Retail Commercial and more particularly described in the

CUP & Site Plan Applications received on September 8, 2024, on file with the City Clerk from Applicant.

#### NEW BUSINESS

1. **CUP & Site Plan Request – Pleated Boutique:** Civil & Environmental Consultants, Inc, on behalf of Lisa Rose, Co-Owner, Pleated Boutique has submitted a CUP Application to allow a 3,000 square foot retail establishment with an 8,895 square foot warehouse located between Technology Drive and La Le Driver off Merz Farm Lane and adjacent to Crown Restauration. The site is 1.39 acres and zoned “C3” Retail Commercial and more particularly described in the CUP & Site Plan Applications received on September 8, 2024, on file with the City Clerk from Applicant.

#### OLD BUSINESS

1. **CUP & Area Plan Request – Prairie Ridge Animal Hospital:** Engenuity has submitted a CUP Application to allow “Veterinarian” as a permitted use for and an Area Plan showing a 8,200 SF veterinarian facility on Lot 6 of the Prairie Encore located on the north side of Fiese Road, just west of Bryan Road. The site is 1.6 acres and zoned “C3” Retail Commercial “PUD” Planned Unit Development and more particularly described in the CUP Application received on September 10, 2024, on file with the City Clerk from Applicant.

#### APPROVAL OF MINUTES

1. Approval of 10-09-24 Minutes
2. Approval of 10-09-24 Work Session Minutes

#### COMMISSION COMMUNICATIONS

#### ADJOURNMENT

## MEMO

**TO:** Dardenne Prairie Planning and Zoning Commission  
**FROM:** Todd Streiler, Planning & Development Manager  
**DATE:** November 6, 2024  
**SUBJECT:** Planning and Zoning Commission Meeting Scheduled for November 13, 2024

Items for consideration at this meeting include:

### PUBLIC HEARINGS:

1. **CUP & Area Plan Request – Prairie Ridge Animal Hospital:** Engenuity has submitted a CUP Application to allow “veterinarian, animal hospital, kennel or dog pound, if within an enclosed building” as permitted uses and an Area Plan for a 8,200 SF veterinarian hospital on Lot 6 of the Prairie Encore located on the north side of Fiese Road, just west of Bryan Road. The site is 1.6 acres and zoned “C3” Retail Commercial “PUD” Planned Unit Development and more particularly described in the CUP Application received on September 10, 2024, on file with the City Clerk from the Applicant.

On September 10, 2024, a CUP Application, Area Plan and Architectural Elevations were submitted for Staff review. The items were reviewed by the Planning & Development Manager and a Comment Letter dated September 20 2024, was issued, which is enclosed.

The CUP public hearing notice was published in the St. Charles Business Record on September 20, 2024.

On September 25, 2024, a revised Area Plan was submitted, which is enclosed. The application and supporting documents addressed all of Staff’s applicable comments contained in the September 20, 2024, Comment Letter. The Area Plan and CUP request meets the requirements of the City’s Zoning Code and is consistent with the City’s 2020 Comprehensive Plan.

On October 9, 2024, the Planning Commission by vote of 4-3 recommended approval of the CUP and by vote of 4-3 to recommended approval of the Area Plan. However, the City Attorney requested the Legal Notice be republished and notifications be resent to adjacent properties in accordance with Section 405.871 and the CUP and Area Plan be reconsidered at the P&Z next meeting (11/13/24)

The CUP / Area Plan public hearing notice was published in the St. Charles Business Record on October 30, 2024 and notices send out to property owners within 300’ and a notice was placed on-site. The Public Hearing is scheduled before the Planning & Zoning Commission on November 13, 2024, and before the Board of Aldermen on November 20 2024.

2. **CUP & Site Plan Request – Pleated Boutique:** Civil & Environmental Consultants, Inc, on behalf of Lisa Rose, Co-Owner, Pleated Boutique has submitted a CUP Application to allow a 3,000 square feet retail establishment with an 8,895 square foot warehouse located between Technology Drive and La Le Driver off Merz Farm Lane and adjacent to Crown Restauration. The site is 1.39 acres and zoned “C3” Retail Commercial and more particularly described in the CUP & Site Plan Applications received on September 8, 2024, on file with the City Clerk from Applicant.

On October 8, 2024, a CUP Application and Site Plan Application was submitted for Staff review. The items were reviewed by the Planning & Development Manager and a Comment Letter dated October 22, 2024, was issued, which is enclosed.

On October 25, 2024, a revised Site Plan was submitted and enclosed herein. The CUP application and revised site plan addresses all Staffs comments and recommendations contained in Staff's October 22, 2024, Comment Letter. The CUP and Site Plan meet all applicable zoning requirements and is consistent with the City's 2020 Comprehensive Plan.

The CUP & Site Plan public hearing notice was published in the St. Charles Business Record on October 30, 2024, and notices send out to property owners within 300' and a notice was placed on-site. and notices send out to property owners within 300' and a notice was placed on-site. The Public Hearing is scheduled before the Planning & Zoning Commission on November 13, 2024, and before the Board of Aldermen on November 20, 2024.

### **OLD ITEMS:**

1. **CUP & Area Plan Request – Prairie Ridge Animal Hospital**: Engenuity has submitted a CUP Application to allow “veterinarian, animal hospital, kennel or dog pound, if within an enclosed building” as permitted uses and an Area Plan for a 8,200 SF veterinarian hospital on Lot 6 of the Prairie Encore located on the north side of Fiese Road, just west of Bryan Road. The site is 1.6 acres and zoned “C3” Retail Commercial “PUD” Planned Unit Development and more particularly described in the CUP Application received on September 10, 2024, on file with the City Clerk from the Applicant.

*Forwarded from Public Hearing.*

### **NEW ITEMS:**

1. **CUP & Site Plan Request – Pleated Boutique**: Civil & Environmental Consultants, Inc, on behalf of Lisa Rose, Co-Owner, Pleated Boutique has submitted a CUP Application to allow a 3,000 square feet retail establishment with an 8,895 square foot warehouse located between Technology Drive and La Le Driver off Merz Farm Lane and adjacent to Crown Restauration. The site is 1.39 acres and zoned “C3” Retail Commercial and more particularly described in the CUP & Site Plan Applications received on September 8, 2024, on file with the City Clerk from Applicant.

*Forwarded from Public Hearing.*

**EXISTING ITEMS: None**

**INFORMATION ONLY: None**

Enclosures

cc: Mayor John Gotway and Board of Aldermen  
Cathy Pratt, Interim City Administrator  
Kim Clark, City Clerk  
John Young, City Attorney

DARDENNE



www.DardennePrairie.org

Planning & Development Manager

Phone 636.755.5314

Tstreiler@DardennePrairie.org

City Hall

2032 Hanley Road

Dardenne Prairie, MO 63368

Phone 636.561.1718

Fax 636.625.0077

September 20, 2024

Sean Ackley, PE  
Engenuity  
via Email [seana@theengenuity.com](mailto:seana@theengenuity.com)

Subject: The Prairie Encore Vet Clinic-CUP Application & 3<sup>rd</sup> Amended PUD Area Plan  
Dardenne Prairie Project No. 24-1060

Dear Mr. Ackley:

The proposed 3<sup>rd</sup> Amended Area Plan, CUP Application, and fees in the amount of \$1,090.00 were received by the City on September 10, 2024. Staff has reviewed the application for completeness and compliance with the applicable regulations and submit the following comments and recommendations.

1. Add the Dardenne Prairie project number, noted above, to the lower right-hand corner of the Cover Sheet (C000).
2. As required by Section 405.250 A.9, provide a preliminary stormwater management plan pursuant to the requirements of Chapter 550 of this Code.
3. Show the 25' front, 10' side and 15' rear setback on the site plan.
4. Provide a letter indicating how the above comments were addressed. Include the Dardenne Prairie project number above in all correspondence and submitted documents. Be advised, additional comments will be forthcoming from the City Engineer.

Once the above items have been satisfactorily addressed, please submit the following items for distribution to the Planning and Zoning Commission and Board of Aldermen:

- One (1) 11x17 copy and twenty (20) full-size **folded** copies of the site plan, elevations and landscape plan revised to address the comments above.
- One (1) electronic copy (pdf format) of all items submitted to the City.

The CUP application and site plan may be considered by the Planning and Zoning Commission at their October 9, 2024, and by the Board of Aldermen at their October 16, and November 11, 2024, meeting. The meetings are planned to take place at the City Hall at 2032 Hanley Road and start at 7pm. The site plan and any other materials or visual aids either submitted to the Commission and/or Board of Aldermen or presented at their meeting shall become the property of the City and part of the permanent record.

Subject: The Prairie Encore Vet Clinic  
1<sup>st</sup> Review  
Dardenne Prairie Project No. 24-1060

If you have any questions, please feel free to contact me.

Respectfully,

A handwritten signature in black ink that reads "Todd Streiler". The signature is written in a cursive, flowing style.

Todd Streiler, AICP, LEED AP  
Planning & Development Manager

cc: John Gotway, Mayor  
Kim Clark, City Clerk

September 25, 2024  
Engenuity Project# 24-0219  
Dardenne Prairie Project #24-1060

City of Dardenne Prairie  
2032 Hanley Road  
Dardenne Prairie, MO 63368

RE: The Prairie Encore Vet Clinic

See below for comments and responses to the comment letter dated September 20, 2024.

1. *Add the Dardenne Prairie project number, noted above, to the lower right-hand corner of the Cover Sheet (C000).*

**Response 1: The Dardenne Prairie project number has been added to the Cover Sheet.**

2. *As required by Section 405.250 A.9, provide a preliminary stormwater management plan pursuant to the requirements of Chapter 550 of this Code.*

**Response 2: The Storm Water Management Plan has been added as sheet C300.**

3. *Show the 25' front, 10' side and 15' rear setback on the site plan.*

**Response 3: The setbacks are shown on the Site Plan, C100.**

4. *Provide a letter indicating how the above comments were addressed. Include the Dardenne Prairie project number above in all correspondence and submitted documents. Be advised, additional comments will be forthcoming from the City Engineer.*

**Response 4: The Response Letter is included.**

Please feel free to contact me with any questions or concerns you may have.

Sincerely,

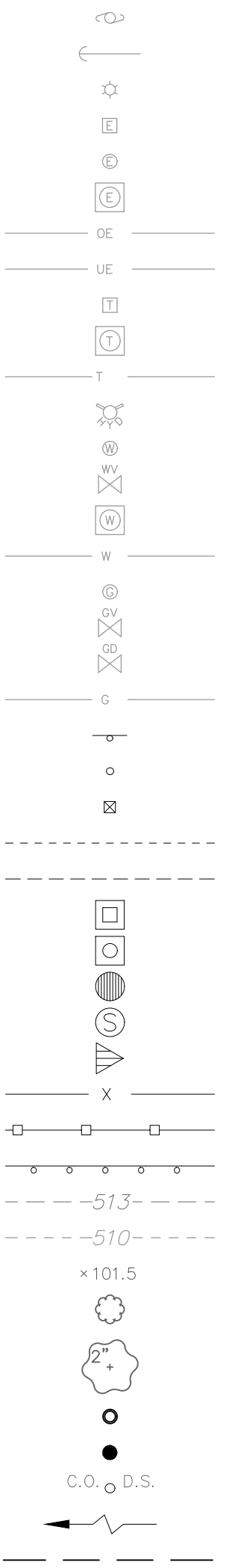


Sean M. Ackley, P.E.  
Civil Department Manager  
Engenuity  
[seana@theengenuity.com](mailto:seana@theengenuity.com)

# THIRD AMENDED P.U.D. AREA PLAN FOR THE PRAIRIE ENCORE

A TRACT OF LAND BEING PART OF SECTION 1,  
TOWNSHIP 46 NORTH, RANGE 2 EAST,  
ST. CHARLES COUNTY, MISSOURI

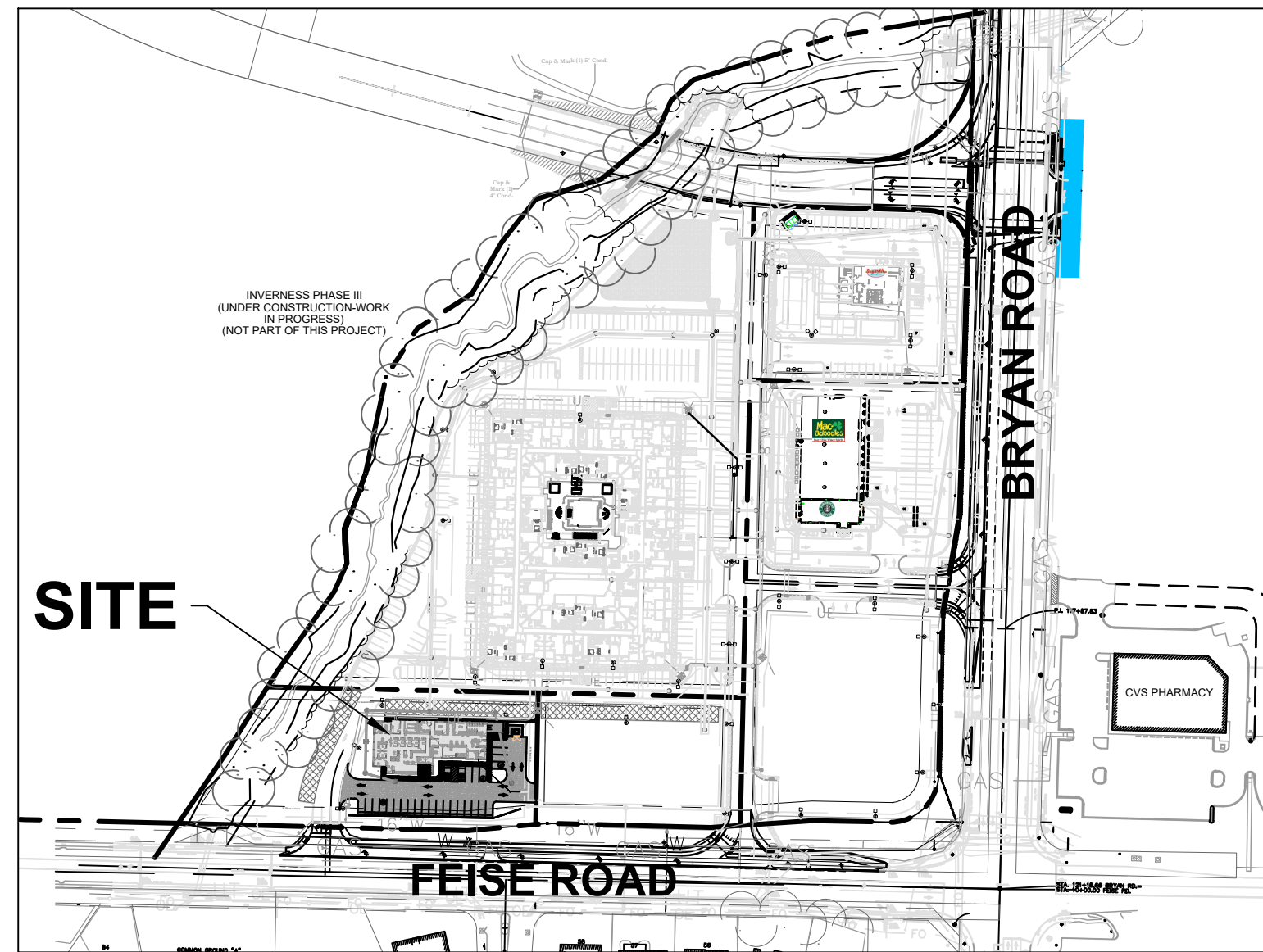
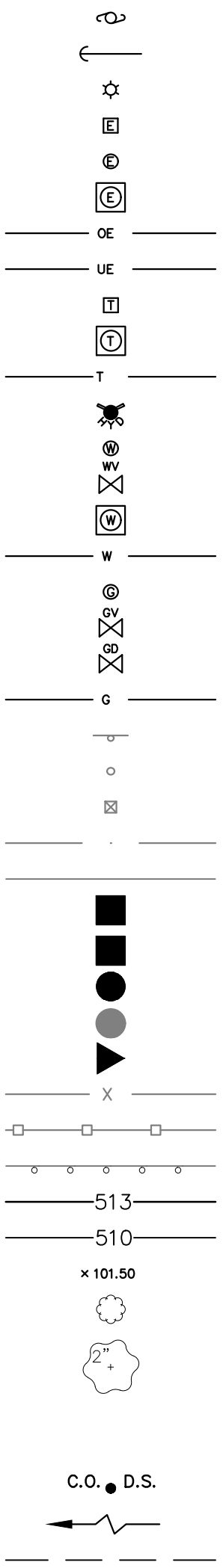
## EXISTING



## LEGEND

- UTILITY POLE
- GUY WIRE
- LIGHT STANDARD
- ELECTRIC BOX
- ELECTRIC METER
- ELECTRIC MANHOLE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- TELEPHONE BOX
- TELEPHONE MANHOLE
- UNDERGROUND TELEPHONE LINE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- WATER MANHOLE
- WATER LINE
- GAS METER
- GAS VALVE
- GAS DRIP
- GAS LINE
- STREET SIGN
- BOLLARD OR POST
- MAILBOX
- SANITARY SEWER
- STORM SEWER
- STORM DRAIN GRATE INLET
- STORM DRAIN AREA INLET
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- FLARED END SECTION
- FENCE: CHAIN LINK OR WIRE
- FENCE: WOOD CONSTRUCTION
- GUARDRAIL
- MINOR CONTOUR INTERVAL
- MAJOR CONTOUR INTERVAL
- SPOT ELEVATION
- BUSH OR SHRUB
- TREE W/APPROXIMATE DIAMETER SIZE
- FOUND SURVEY MONUMENT AS NOTED
- SET SURVEY MONUMENT AS NOTED
- CLEAN-OUT/DOWN-SPOUT
- SWALE
- UTILITY EASEMENT
- ON-SITE/OFFSITE PLAN LIMITS

## PROPOSED



LOCATION MAP  
NOT TO SCALE

## PROPERTY INFORMATION

OWNER: MIA ROSE HOLDINGS, LLC  
 SITE ADDRESS: 1575 BRYAN ROAD, DARDENNE PRAIRIE, MISSOURI 63366  
 PARCEL ID#: 4-0033-S001-00-0001.2000000  
 EXISTING ZONING: C-3 PLANNED UNIT DEVELOPMENT (P.U.D.)  
 SUBJECT SITE AREA: TOTAL = 17.25 ACRES (INCLUDES R/W)  
 NUMBER OF RESIDENTIAL UNITS: LOT 1 - 190 UNITS (MULTI-FAMILY RESIDENTIAL)  
 WATER DISTRICT: PUBLIC WATER SUPPLY DISTRICT #2  
 FIRE DISTRICT: O'FALLON FIRE PROTECTION DISTRICT  
 SEWER DISTRICT: DUCKETT CREEK SANITARY DISTRICT  
 ELECTRIC SERVICE: AMEREN MISSOURI ELECTRIC  
 NATURAL GAS SERVICE: SPIRE ENERGY  
 SCHOOL DISTRICT: WENTZVILLE SCHOOL DISTRICT  
 COMMUNICATIONS: SPECTRUM / AT&T COMMUNICATIONS

## REGULATIONS AND PERFORMANCE STANDARDS FOR C-3 ZONING DISTRICT (BASIS FOR COMMERCIAL - LOTS 2, 3, 4, 5, 6)

- LOT WIDTH = 150 FEET WIDE AT BUILDING LINES
- LOT DEPTH = NONE
- LOT COVERAGE = NONE
- FRONT YARD = NOT LESS THAN 25 FEET, EXCLUDING ALL SIGNS, PUMP ISLANDS, AND CANOPIES OF GASOLINE SERVICE STATIONS
- SIDE YARD = NOT LESS THAN 10 FEET. 25 FEET SHALL BE PROVIDED ON THE STREET SIDE OF A CORNER LOT.
- REAR YARD = NOT LESS THAN 15 FEET.
- TRANSITION STRIP BETWEEN RESIDENTIAL AND COMMERCIAL DISTRICT SHALL BE A MINIMUM OF 15 FEET.

## DEVIATIONS REQUESTED FOR FOR C-3 ZONING DISTRICT (BASIS FOR COMMERCIAL - LOTS 2, 3, 4, 5, 6)

- LOT WIDTH - N/A
- LOT DEPTH - N/A
- LOT COVERAGE - N/A
- FRONT YARD - N/A
- SIDE YARD - N/A
- REAR YARD - N/A
- TRANSITION STRIP BETWEEN RESIDENTIAL AND COMMERCIAL DISTRICT: LOT 1 TRANSITION STRIP BETWEEN LOTS 2, 3, 4, 5, 6 = 0 FEET

THE APPLICANT AND OWNER(S) OF RECORD HAVE REVIEWED THE APPROVED AREA PLAN AND ALL THE IMPROVEMENTS AS SHOWN ON THE AREA PLAN SHALL BE BINDING UPON THE APPLICANT AND THE OWNER(S) AND THEIR HEIRS, SUCCESSORS, AND ASSIGNS.

SIGNED

OWNER

APPLICANT

## SITE COVERAGE CALCULATIONS

EXISTING SITE 17.25 ac.		
Description	Area (ac.)	% Total
Buildings =	0.26	1.5%
Pavement =	0.33	1.9%
Total Impervious Area =	0.59	3.4%
Open Space =	16.66	96.6%
PROPOSED SITE 17.25 ac.		
Description	Area (ac.)	% Total
Buildings =	1.99	11.6%
Pavement =	8.16	47.3%
Total Impervious Area =	10.15	58.8%
Open Space =	7.10	41.2%
LOT 1 6.71 ac.		
Description	Area (ac.)	% Total
Buildings =	1.52	22.7%
Pavement =	2.56	38.2%
Total Impervious Area =	4.09	60.9%
Open Space =	2.63	39.1%
LOT 2 1.37 ac.		
Description	Area (ac.)	% Total
Buildings =	0.07	5.0%
Pavement =	1.10	80.4%
Total Impervious Area =	1.17	85.5%
Open Space =	0.20	14.5%
LOT 3 1.58 ac.		
Description	Area (ac.)	% Total
Buildings =	0.28	17.69%
Pavement =	1.08	68.1%
Total Impervious Area =	1.36	85.7%
Open Space =	0.23	14.3%
LOT 4 1.72 ac.		
Description	Area (ac.)	% Total
Buildings =	0.12	7.0%
Pavement =	1.29	75.0%
Total Impervious Area =	1.41	82.0%
Open Space =	0.31	18.0%
LOT 5 0.99 ac.		
Description	Area (ac.)	% Total
Buildings =	0.24	24.2%
Pavement =	0.75	75.8%
Total Impervious Area =	0.99	100.0%
Open Space =	0.00	0.0%
LOT 6 1.60 ac.		
Description	Area (ac.)	% Total
Buildings =	0.72	45.2%
Pavement =	0.19	11.7%
Total Impervious Area =	0.91	56.9%
Open Space =	0.69	43.1%
LOT 7 1.17 ac.		
Description	Area (ac.)	% Total
Buildings =	0.00	0.0%
Pavement =	1.17	100.0%
Total Impervious Area =	1.17	100.0%
Open Space =	0.00	0.0%
PROPOSED R/W 2.11 ac.		
Description	Area (ac.)	% Total
Buildings =	1.16	55.0%
Pavement =	0.95	45.0%
Total Impervious Area =	2.11	100.0%
Open Space =	0.00	0.0%

## LOT AREAS

Lot	Area (sq. ft.)	Area (Acres)
Lot 1 Area =	292,453 sq. ft.	6.71 Acres
Lot 2 Area =	59,591 sq. ft.	1.37 Acres
Lot 3 Area =	68,966 sq. ft.	1.58 Acres
Lot 4 Area =	74,998 sq. ft.	1.72 Acres
Lot 5 Area =	43,096 sq. ft.	0.99 Acres
Lot 6 Area =	69,842 sq. ft.	1.60 Acres
Lot 7 Area =	50,785 sq. ft.	1.17 Acres
Cora Marie R/W	31,317 sq. ft.	0.72 Acres
Bryan/Feise R/W	60,379 sq. ft.	1.39 Acres
<b>Total =</b>	<b>751,427 sq. ft.</b>	<b>17.25 Acres</b>

## DENSITY CALCULATIONS

Total Dwelling Units =	190 units
Total Area Including ROW	17.25 acres
	11.01 units/acre (Including ROW)
Total Area Excluding ROW	15.23 acres (Excluding ROW)
	12.47 units/acre

## PARKING SUMMARY

LOT 1 Multi-Family Apartment Building			
Chapter 405 Zoning Code, 405.635 Schedule of Off-Street Parking Requirements: Multi-Family: Three spaces per unit (covered parking is optional)			
Dwelling Units			
Total Required (per code) =	3 space x 190 Units	=	570 spaces required
Alternative Total (1.7 per unit)	1.7 space x 190 Units	=	323 spaces (alternative)
Total Lot 1 Provided =			288 spaces provided
Shared Spaces from Lot 5 =			25 spaces provided
Shared Spaces from Lot 6 =			38 spaces provided
		<b>Total</b>	<b>331 spaces provided</b>
ADA Spaces Required =			8 ADA spaces required
ADA Spaces Provided =			8 ADA spaces provided
LOT 2 Restaurant (With Pickup Window)			
Chapter 405 Zoning Code, 405.635 Schedule of Off-Street Parking Requirements: Restaurant General: Twenty (20) Spaces plus One (1) space per 100 square feet			
Building Area =	3,000 sq. ft.		
Total Required =	20 + 3,000 sq. ft. x 1 space / 100 sq. ft.	=	50 spaces required
		<b>Total</b>	<b>51 spaces provided</b>
ADA Spaces Required =			3 ADA spaces required
ADA Spaces Provided =			3 ADA spaces provided
LOT 3 RETAIL			
Chapter 405 Zoning Code, 405.635 Schedule of Off-Street Parking Requirements: Retail, General: Ten (10) spaces plus One (1) per Four Hundred (400) square feet in excess of first Two-Thousand (2,000) square feet			
Building Area =	12,330 sq. ft.		
Total Required =	10 + 10,330 sq. ft. x 1 space / 400 sq. ft.	=	36 spaces required
Total Provided =			45 spaces provided
ADA Spaces Required =			2 ADA spaces required
ADA Spaces Provided =			3 ADA spaces provided
LOT 4 Convenience/Fueling Station			
Chapter 405 Zoning Code, 405.635 Schedule of Off-Street Parking Requirements: Convenience/Fueling Station: One (1) Space per 250 square feet of floor area			
Building Area =	5,200 sq. ft.		
Total Required =	5,200 sq. ft. x 1 space / 250 sq. ft.	=	21 spaces required
Total Provided =			28 spaces provided
ADA Spaces Required =			2 ADA spaces required
ADA Spaces Provided =			2 ADA spaces provided
LOT 6 Vet Clinic			
Chapter 405 Zoning Code, 405.635 Schedule of Off-Street Parking Requirements: Animal care, limited or general: One (1) Space per 300 square feet			
Building Area =	8,200 sq. ft.		
Total Required =	8,200 sq. ft. x 1 space / 300 sq. ft.	=	27.33 spaces required
Total Provided =			28 spaces provided
ADA Spaces Required =			2 ADA spaces required
ADA Spaces Provided =			2 ADA spaces provided

## % Change from Approved Amended Final Plan Commercial Building Area

Lot	Area (sq. ft.)
Lot 2 =	3,000 s.f.
Lot 3 =	12,330 s.f.
Lot 4 =	5,200 s.f.
<b>Total Approved =</b>	<b>20,530 s.f.</b>

Third Amended Area Plan	
Lot 2 =	3,000 s.f.
Lot 3 =	12,330 s.f.
Lot 4 =	5,200 s.f.
Lot 6 =	8,200
<b>Total Approved =</b>	<b>28,730 s.f.</b>

Difference = 8,200 s.f.  
 % Increase = 40%

## SHEET INDEX

- CIVIL
- C000 COVER SHEET
- C100 OVERALL SITE PLAN
- C101 ENLARGED SITE PLAN
- C200 ENLARGED GRADING PLAN
- C300 STORM WATER MANAGEMENT PLAN
- LANDSCAPE PLAN
- L1 PLANTING PLAN
- PHOTOMETRIC PLAN
- PH100 VET PHOTOMETRIC SCHEDULES & DETAILS
- ARCHITECTURAL
- A1 FIRST FLOOR PLAN
- A2 RENDERINGS

## ABBREVIATIONS

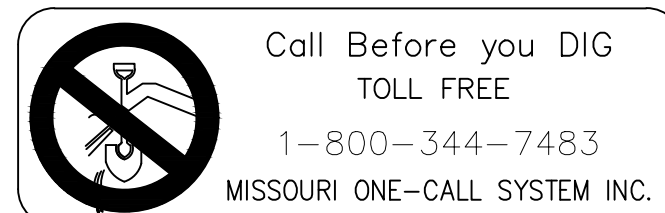
ADS - ADVANCED DRAINAGE SYSTEMS, INC.	N.T.S. - NOT TO SCALE
ATG - ADJUST TO GRADE	O.C. - ON CENTER
B.M. - BENCHMARK	PAVT. - PAVEMENT
C.I. - CURB INLET	P.C. - PORTLAND CEMENT
C.O. - CLEAN OUT	P.CC - PRECAST CONCRETE
CMP - CORRUGATED METAL PIPE	P.S.I. - POUNDS/SQUARE INCH
CONC. - CONCRETE	PROP. - PROPOSED
C.Y. - CUBIC YARDS	P.U.M.I. - PRIVATE UNDER MSD INSPECTION
D.C.I. - DOUBLE CURB INLET	R.C. - REINFORCED CONCRETE
DIP - DUCTILE IRON PIPE	R.R. - RAIL ROAD
DIA. - DIAMETER	RCP - REINFORCED CONCRETE PIPE
DS - DOWNSPOUT	S.F. - SQUARE FOOT
ELEV. - ELEVATION	S.Y. - SQUARE YARD
EX - EXISTING	SAN - SANITARY
FD - FLOOR DRAIN	SCH - SCHEDULE
FF - FINISH FLOOR	SWPPP - STORM WATER POLLUTION
FL - FLOW LINE	TBA - TO BE ABANDONED
G.I. - GRATE INLET	TBR - TO BE REMOVED
GAL. - GALLON	TYP. - TYPICAL
H.G. - HYDRAULIC GRADE	UIP - USE IN PLACE
HYD - HYDRANT	VCP - VITRIFIED CLAY PIPE
MAX - MAXIMUM	YD - YARD DRAIN
MH - MANHOLE	VV - WATER VALVE
MIN - MINIMUM	

## FEMA FLOOD HAZARD MAP 29183C0240G

JANUARY 20TH 2016 (PANEL 240 OF 525), ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS.

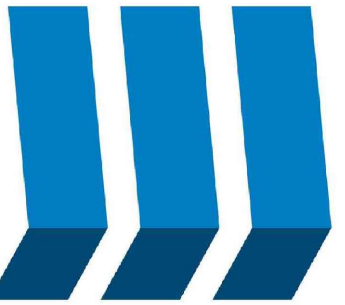
A PORTION OF THIS PROPERTY THIS FALLS WITHIN FLOOD ZONE HAZARD AREA "ZONE AE" WHICH IS DETERMINED TO BE WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN. A PORTION OF THE PROPERTY ALSO FALLS WITHIN "ZONE X (SHADED)" AND "ZONE X (UNSHADED)".

SITE LIGHTING TO BE PROVIDED ON THE SUBJECT PROPERTY WILL BE INSTALLED AND MAINTAINED BY THE DEVELOPER. LIGHTING IN PUBLIC RIGHT OF WAY (CORA MARIE) TO BE INSTALLED BY THE DEVELOPER AND MAINTAINED BY THE CITY OF DARDENNE PRAIRIE.



Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMo.

**ENGINEUNITY**  
 BUILDING VALUE BY DESIGN  
 17057 N. OUTER FORTY ROAD  
 CHESTERFIELD, MO 63005  
 P: (314) 819-9189  
 WWW.THEENGINEUNITY.COM  
 MISSOURI CORPORATE OF AUTHORITY: 022601017504



THE PRAIRIE ENCORE  
 THIRD AMENDED P.U.D. AREA PLAN  
 VET CLINIC

LOT 6 - FEISE ROAD  
 DARDENNE PRAIRIE, MISSOURI 63366

Project No:	24-0219	
No	Description	Date
1	City Submittal	08/30/24
2	City Comments	09/23/24

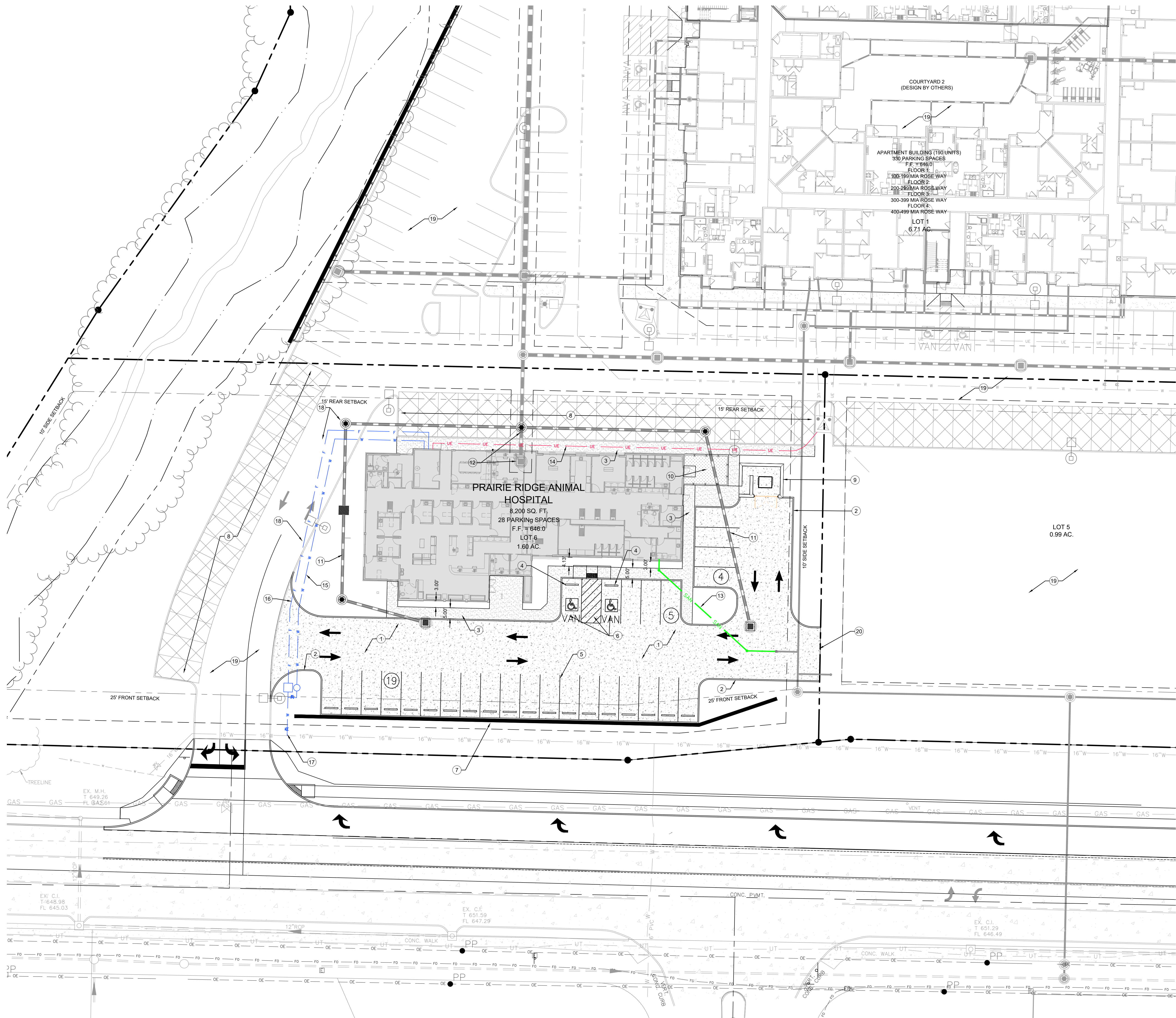
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09/23/2024  
 Sean M. Ackley  
 MO# PE-2009018679  
 DATE: 08/30/24  
 SCALE:

COVER SHEET

C000

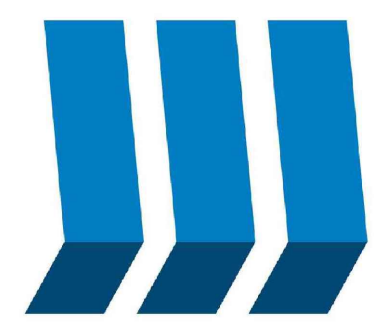


**KEYED NOTES**

1. CONCRETE PAVEMENT
2. INTEGRAL 6" H. CONCRETE CURB
3. CONCRETE SIDEWALK
4. WHEEL STOP
5. PAVEMENT MARKING - 4" WIDE WHITE PAINT
6. PAVEMENT MARKING - 4" WIDE BLUE PAINT (ADA SPACES)
7. MODULAR BLOCK RETAINING WALL W/ RAILING (DESIGN BY OTHERS)
8. SHARED PARKING BETWEEN LOT 1 AND LOT 6
9. TRASH ENCLOSURE (SEE ARCH. DWGS.)
10. DOG YARD (SEE ARCH. DWGS.)
11. STORM SEWER (TYP.)
12. REMOVE STORM SEWER
13. 6" PVC SANITARY LATERAL
14. ELECTRIC SERVICE
15. DOMESTIC WATER SERVICE (COORDINATE W/ MEP DWGS.)
16. FIRE LINE (COORDINATE W/ MEP DWGS.)
17. TAP EXISTING 16" WATER MAIN PER PWS#2 STANDARDS
18. REMOVE AND REPLACE CONCRETE PAVEMENT AS REQUIRED TO INSTALL UTILITY SERVICES
19. NOT PART OF THESE PLANS
20. CROSS ACCESS TO LOT 5

**ENGENUITY**  
 BUILDING VALUE  
 BY DESIGN

17057 N. OUTER FORTY ROAD  
 CHESTERFIELD, MO 63005  
 P: (314) 819-9189  
 WWW.THEENGUITY.COM  
 MISSOURI CORPORATE OFFICE LICENSE # 0620017354



**THE PRAIRIE ENCORE  
 THIRD AMENDED P.U.D. AREA PLAN  
 VET CLINIC**

LOT 6 - FEISE ROAD  
 DARDENNE PRAIRIE, MISSOURI 63366

Project No:	24-0219	
No	Description	Date
1	City Submittal	08/30/24
2	City Comments	09/23/24

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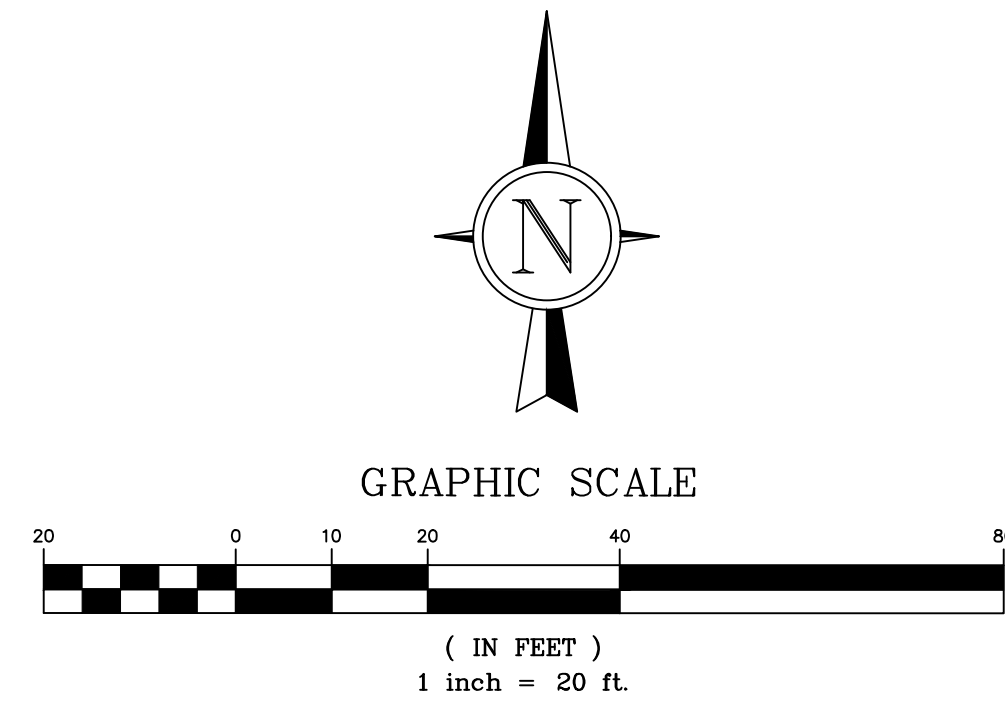
09/23/2024  
 Sean M. Ackley  
 MO# PE-2009018679

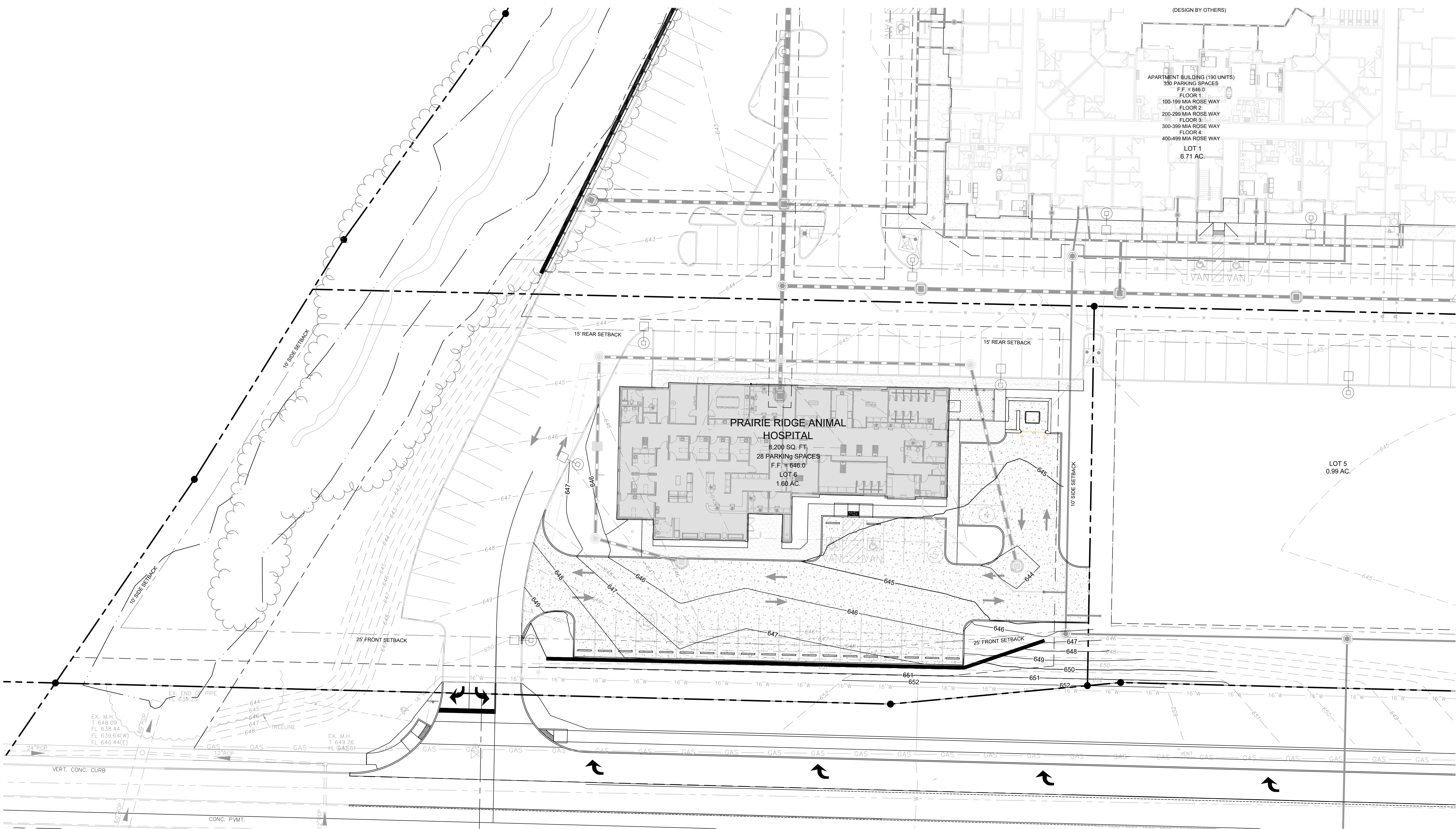
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DATE: 08/30/24  
 SCALE:

**ENLARGED  
 SITE PLAN**

C101





(DESIGN BY OTHERS)

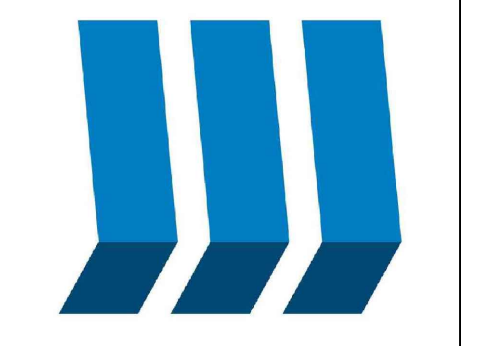
APARTMENT BUILDING (190 UNITS)  
 330 PARKING SPACES  
 F.F. = 646.0  
 FLOOR 1:  
 100-199 MIA ROSE WAY  
 FLOOR 2:  
 200-299 MIA ROSE WAY  
 FLOOR 3:  
 300-399 MIA ROSE WAY  
 FLOOR 4:  
 400-499 MIA ROSE WAY  
 LOT 1  
 6.71 AC.

PRAIRIE RIDGE ANIMAL  
 HOSPITAL  
 8,200 SQ. FT.  
 28 PARKING SPACES  
 F.F. = 646.0  
 LOT 6  
 1.60 AC.

LOT 5  
 0.99 AC.

**ENGENUITY**  
 BUILDING VALUE  
 BY DESIGN

17057 N. OUTER FORTY ROAD  
 CHESTERFIELD, MO 63005  
 P. (314) 819-1899  
 WWW.THEENGENUITY.COM  
 MEMBER CORPORATION OF ARCHITECTS  
 LICENSE NO. 17354



**PRELIMINARY PLANS  
 VET CLINIC**

LOT 6 - FEISE ROAD  
 DARDENNE PRAIRIE, MISSOURI 63366

Project No:	24-0219	
No	Description	Date
1	Preliminary Sketch	06/10/24

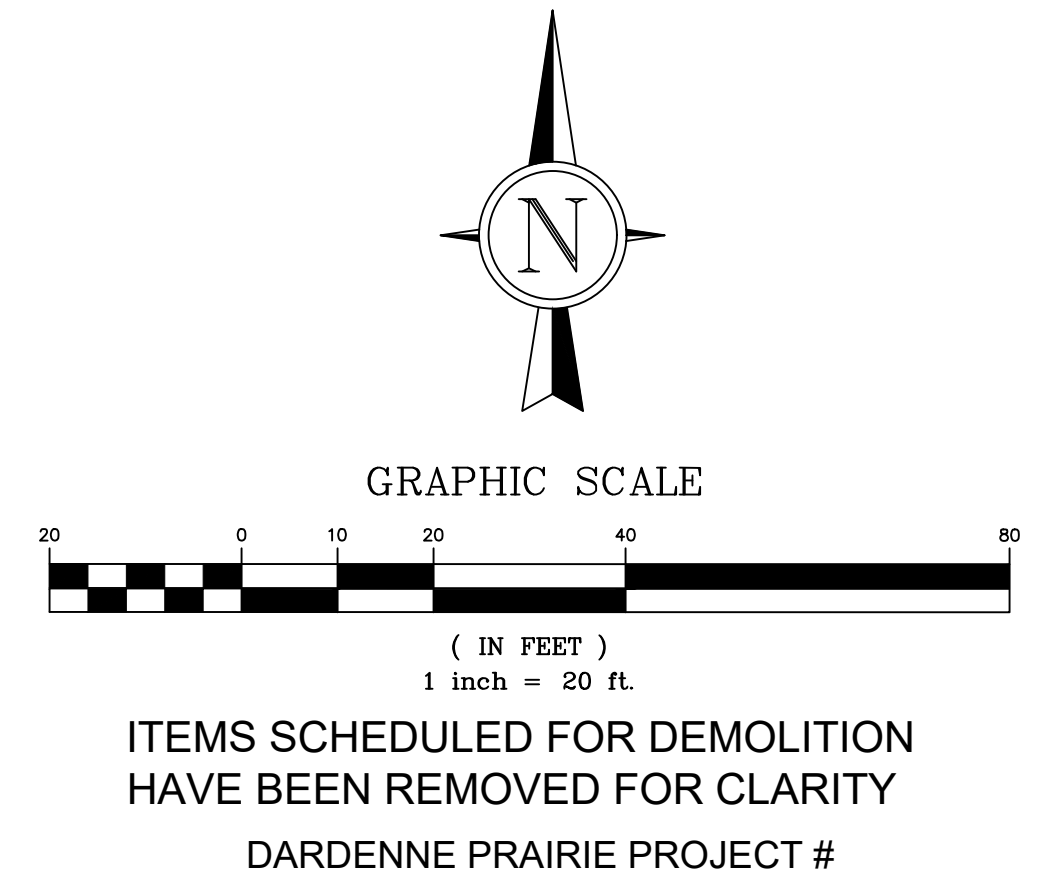
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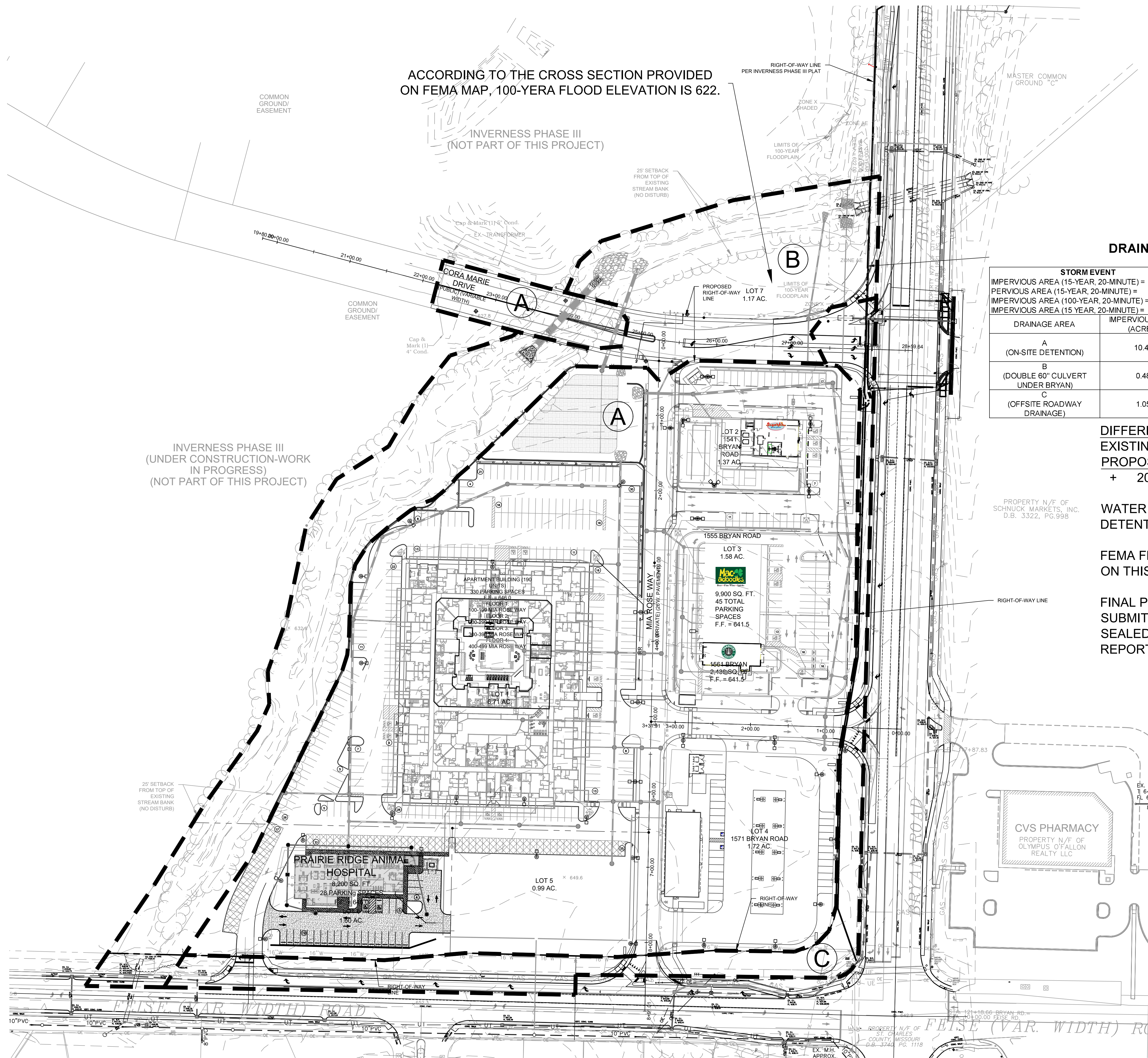
06/10/2024  
 Sean M. Ackley  
 MO# PE-2009018679

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DATE: 06/10/24  
 SCALE:

ENLARGED  
 GRADING PLAN  
 C200





**DRAINAGE AREA TABLE**

STORM EVENT		PI FACTOR			
IMPERVIOUS AREA (15-YEAR, 20-MINUTE) =		3.54			
PERVIOUS AREA (15-YEAR, 20-MINUTE) =		1.70			
IMPERVIOUS AREA (100-YEAR, 20-MINUTE) =		4.77			
PERVIOUS AREA (100-YEAR, 20-MINUTE) =		2.29			
DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA	Q-15 (CFS)	Q-100 (CFS)
A (ON-SITE DETENTION)	10.42	1.84	12.25	40.00	53.89
B (DOUBLE 60" CULVERT UNDER BRYAN)	0.48	3.37	3.85	7.43	10.01
C (OFFSITE ROADWAY DRAINAGE)	1.05	0	1.42	3.72	5.01

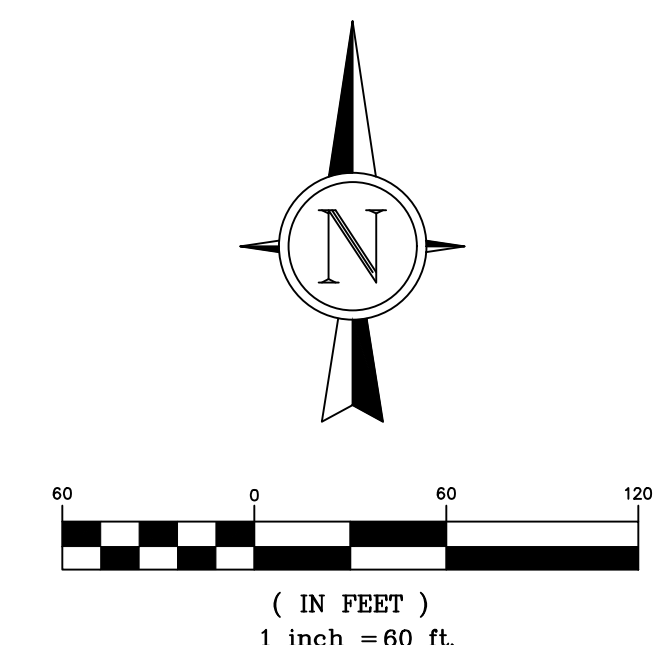
**DIFFERENTIAL RUNOFF CALCULATIONS**

EXISTING = 30.41 CFS  
 PROPOSED = 51.33 CFS  
 + 20.92 CFS

WATER QUALITY AND STORMWATER DETENTION ARE REQUIRED

FEMA FLOOD ZONE HAZARD AREAS SHOWN ON THIS PLAN PER FEMA MAP 29183C0240G

FINAL PLAN AND CONSTRUCTION DOCUMENT SUBMITTALS WILL REQUIRE A SIGNED AND SEALED STORMWATER MANAGEMENT REPORT.



ITEMS SCHEDULED FOR DEMOLITION HAVE BEEN REMOVED FOR CLARITY

DARDENNE PRAIRIE PROJECT #24-1060



THE PRAIRIE ENCORE  
 THIRD AMENDED P.U.D. AREA PLAN  
 VET CLINIC

LOT 6 - FEISE ROAD  
 DARDENNE PRAIRIE, MISSOURI 63366

Project No:	24-0219	
No	Description	Date
1	City Submittal	08/30/24
2	City Comments	09/23/24

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09/23/2024  
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 MO# PE-2009018679

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DATE: 08/30/24  
 SCALE: 1"=60'

STORMWATER MANAGEMENT PLAN  
 C300

REVISIONS	BY

**Landscaping TECHNOLOGIES**

67 Jacobs Creek Drive  
St. Charles, Missouri 63304  
(636) 428-1250  
MO Landscape Architectural Corporation #202408192

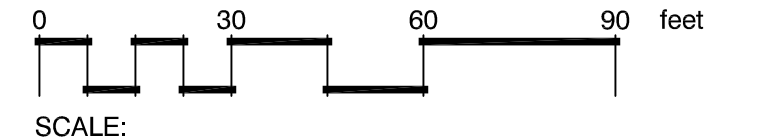
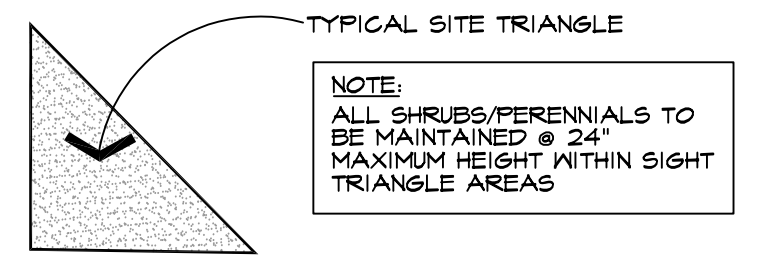
RANDALL MARDIS  
REGISTERED LANDSCAPE ARCHITECT #000014  
DATE: 08/28/2024

PLANTING PLAN FOR THE PROPOSED  
**Prairie Ridge Animal Hospital**  
BRYAN @ FEISE ROADS DARDENNE PRAIRIE, MISSOURI

DRAWN  
R. MARDIS  
CHECKED  
R.M./G.B.  
DATE  
AUGUST 28, 2024  
SCALE  
1"=30'-0"  
JOB No.  
2024-188  
SHEET  
**1-1**  
OF TWO SHEETS

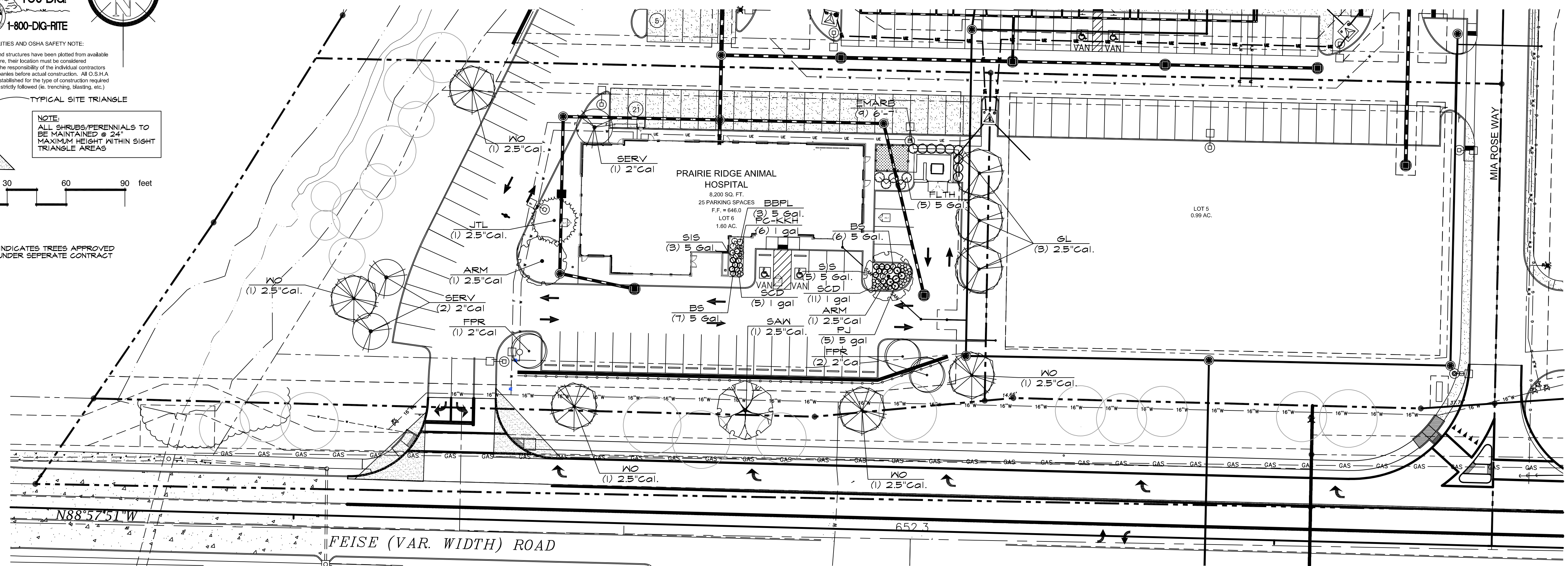


**UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:**  
Underground utilities and structures have been sketched from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractor to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (ie. trenching, blasting, etc.)



**SCALE:**

INDICATES TREES APPROVED UNDER SEPERATE CONTRACT



**PLANT SCHEDULE**

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CREDITS
<b>TREES</b>				
ARM	2	ARMSTRONG RED MAPLE / ACER RUBRUM 'ARMSTRONG'	2.5" CAL	600
GL	3	GREENSPIRE LITTLELEAF LINDEN / TILIA CORDATA 'GREENSPIRE'	2.5" CAL.	900
SAW	1	SAWTOOTH OAK / QUERCUS ACUTISSIMA	2.5" CAL.	300
WO	5	WILLOW OAK / QUERCUS PHELLOS	2.5" CAL.	1500
<b>EVERGREEN TREES</b>				
EMARB	1	EMERALD ARBORVITAE / THUJA OCCIDENTALIS 'EMERALD'	6'-7'	450
<b>FLOWERING TREES</b>				
FPR	3	FOREST PANSY REDBUD / CERCIS CANADENSIS 'FOREST PANSY' TM	2" CAL	600
JTL	1	IVORY SILK JAPANESE TREE LILAC / SYRINGA RETICULATA 'IVORY SILK'	2.5" CAL.	200
SERV	3	'AUTUMN BRILLIANCE' SERVICEBERRY / AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	2" CAL	800
<b>SHRUBS</b>				
BBPL	3	BLOOMERANG® BALLET DWARF PINK LILAC / SYRINGA X 'SMNSPH'	5 GAL.	90
FLTH	5	FIRE LIGHT TIDBIT HYDRANGEA / HYDRANGEA PANICULATA 'SMNHPK' TM	5 GAL.	250
PJ	5	PROCUMBENS JUNIPER / JUNIPERUS PROCUMBENS 'NANA'	5 GAL	100
SIS	8	SCENTLANDIA SWEETSPIRE / ITEA VIRGINICA 'SMNIVDFC' TM	5 GAL.	160
BS	13	SPRINTER® LITTLELEAF BOXWOOD / BUXUS MICROPHYLLA 'BULHOUSE'	5 GAL.	390
<b>ANNUALS/PERENNIALS</b>				
PC-KKH	6	KIM'S KNEE HIGH PURPLE CONEFLOWER / ECHINACEA PURPUREA 'KIM'S KNEE HIGH' TM	1 GAL	12
SCD	30	STRAWBERRY CANDY DAYLILY / HEMEROCALLIS X 'STRAWBERRY CANDY' TM	1 GAL	60

TOTAL CREDITS: 6,412

**SITE DATA CALCULATIONS:**  
STREET TREES:  
STREET TREES ARE REQUIRED AT A MINIMUM OF ONE TREE PER 60 LIN. FT. OF FRONTAGE OR PART THEREOF. SAID REQUIRED TREES HAVE BEEN APPROVED AND WILL BE INSTALLED UNDER A SEPERATE CONTRACT.

**LOT 6 CALCULATIONS:**  
TOTAL ACREAGE = 1.60 ACRES  
TOTAL PAVEMENT = 0.12 ACRE or 45.2%  
TOTAL BUILDING FOOTPRINT = 0.14 ACRE or 11.7%  
TOTAL OPEN SPACE = 1.41 ACRES or 61,419.60 SQ. FT.

**LANDSCAPE CREDITS:**  
OPEN SPACE IS CALCULATED AS FOLLOWS:  
TOTAL LOT MINUS AREA OF BUILDING FOOTPRINT = AREA OF OPEN SPACE or 1.41 ACRES  
OPEN SPACE SQ. FT. x 20% or 40% = # CREDIT POINTS REQUIRED  
ALL LOTS OF 40% OR MORE OPEN SPACE MUST HAVE A MINIMUM TOTAL SQ. FT. OF LANDSCAPE CREDITS EQUAL TO 10% OF THE TOTAL OPEN SPACE  
• LOT #6: 1.60 ACRES or 61,696 SQ. FT.  
61,419.60 SQ. FT. OPEN SPACE OR 88.12% OF TOTAL LOT, REQUIRING 6,412 CREDITS PROVIDED

# LANDSCAPE GUIDELINE SPECS:

## GENERAL:

- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
- The landscape contractor shall be responsible for any coordination and sequencing with other site related work being performed by other contractors. Refer to additional drawings for further coordination of work to be done.
- Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (call 1-800-DIG-RITE in Missouri).
- Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- It shall be the landscape contractor's responsibility to:
  - Verify all existing and proposed features shown on the drawings prior to commencement of work.
  - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
  - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
- Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
- Provide single-stem trees unless otherwise noted in plant schedule.
- All plant material shall comply with the recommendations and requirements of ANSI Z60.1 "American Standards for Nursery Stock".
- It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owners' Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
- All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
- Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
- All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
- Transplanted material will not be guaranteed by the landscape contractor.
- Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
- Landscape contractor shall kill & remove all existing weeds within the project site.
- All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
- Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.

## PRUNING:

- Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of branches that extend to the edge of the crown.
- All pruning shall comply with ANSI A300 standards.

## INSURANCE:

- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.

## MULCH:

- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
- No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Mirafi fabric shall be used beneath all gravel mulch beds.
- Edge all beds with spade-cut edge unless otherwise noted.

## SIGHT TRIANGLES:

- No landscape material or other obstructions shall be placed or be maintained within the sight distance area so as not to impede the vision between a height of thirty inches (30") and ten feet (10') above the adjacent street or paving surfaces.
- Sight triangles at the intersection of a public street and a private access way (except for single family residences) shall also be formed by measuring from the point of intersection of the street frontage curbs and the entrance curb lines a distance of 25' and connecting the points so established to form the sight triangle area.

## TOPSOIL:

- Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Roto-till topsoil mix to a depth of 6" minimum and grade smooth.
- Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
- Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material. Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
- Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded bark mulch.
- Install siltation controls prior to commencement of any grading operations. Inspect and maintain all siltation fences on a weekly basis until vegetation is established.

## TURF:

- All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (10# per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
- The turf contractor shall be responsible for protection of finished grade, restore and repair any erosion or water damage and obtain owners' approval prior to seeding or sod installation.
- Landscape contractor shall offer an alternate price for sod in lieu of seed. Sod shall be cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted. Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
- All sod shall be placed a maximum of 24 hours after harvesting.
- Recondition existing lawn areas damaged by contractor's operations including equipment/material storage and movement of vehicles.
- Sod Contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.

## EROSION CONTROL BLANKET (Where applicable):

- All seeded areas shall receive an erosion control blanket which shall consist of loose straw mat and anchor pins as manufactured by: North American Green, D5 75 or approved equal. Install per manufacturer's recommendations.

## PLUG PLANTING NOTES:

- All plugs to be 4-1/2" deep X 2" diameter minimum.
- Plugs are to be planted in a hole dug with a trowel, spade or planting bar such that the hole is of a minimum diameter and depth to accommodate the plug and its roots, without damage.
- Plugs shall be spaced in a triangulated layout approximately 24" on center. Plugs shall be planted through erosion control blanket where appropriate.
- Obtain plugs from a reputable nursery.
- Water plugs upon completion of planting so that soil is moist but not saturated. If planting is delayed more than six hours after delivery, store plugs in the shade, protect from weather and mechanical damage and keep them moist and cool. All plugs shall be planted within 24 hours after delivery.

## WARRANTY:

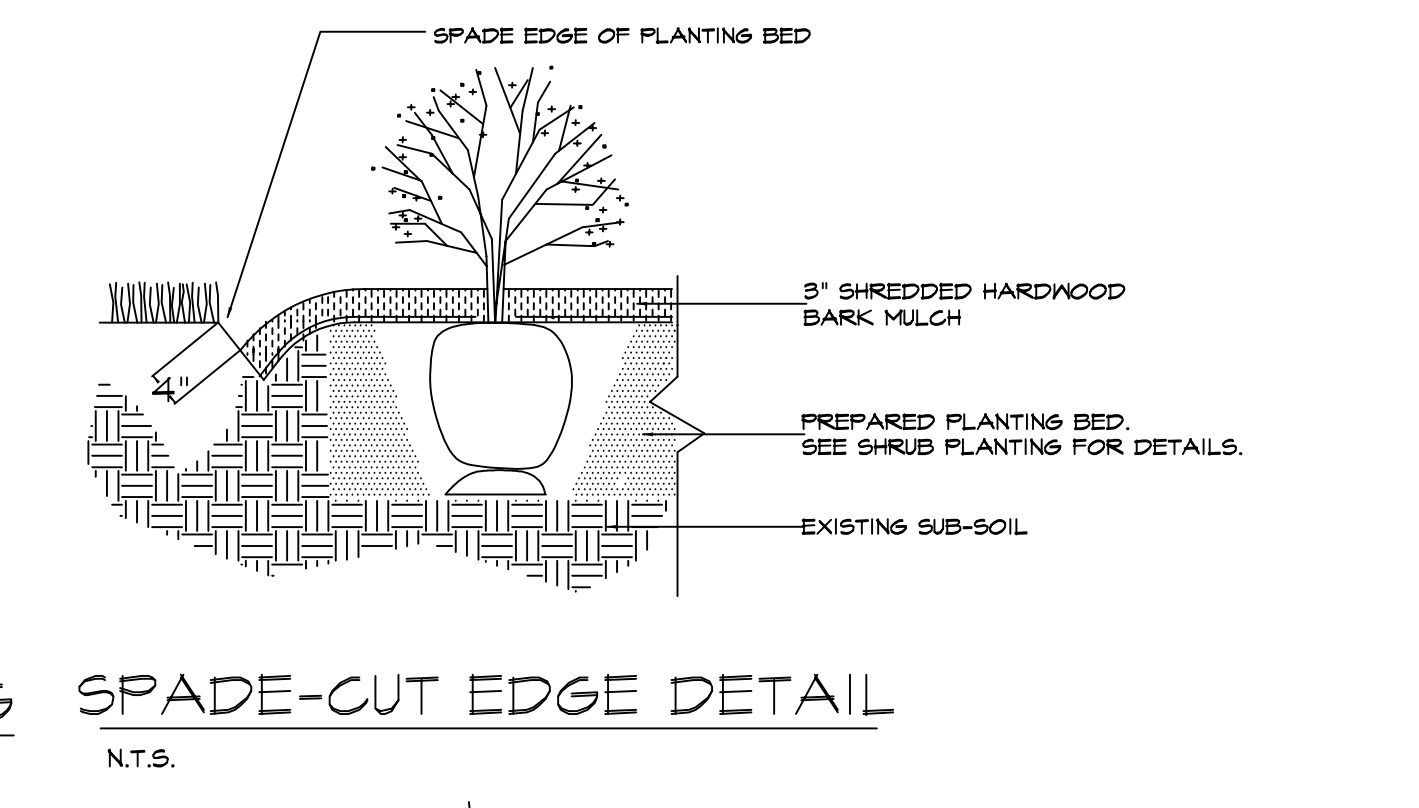
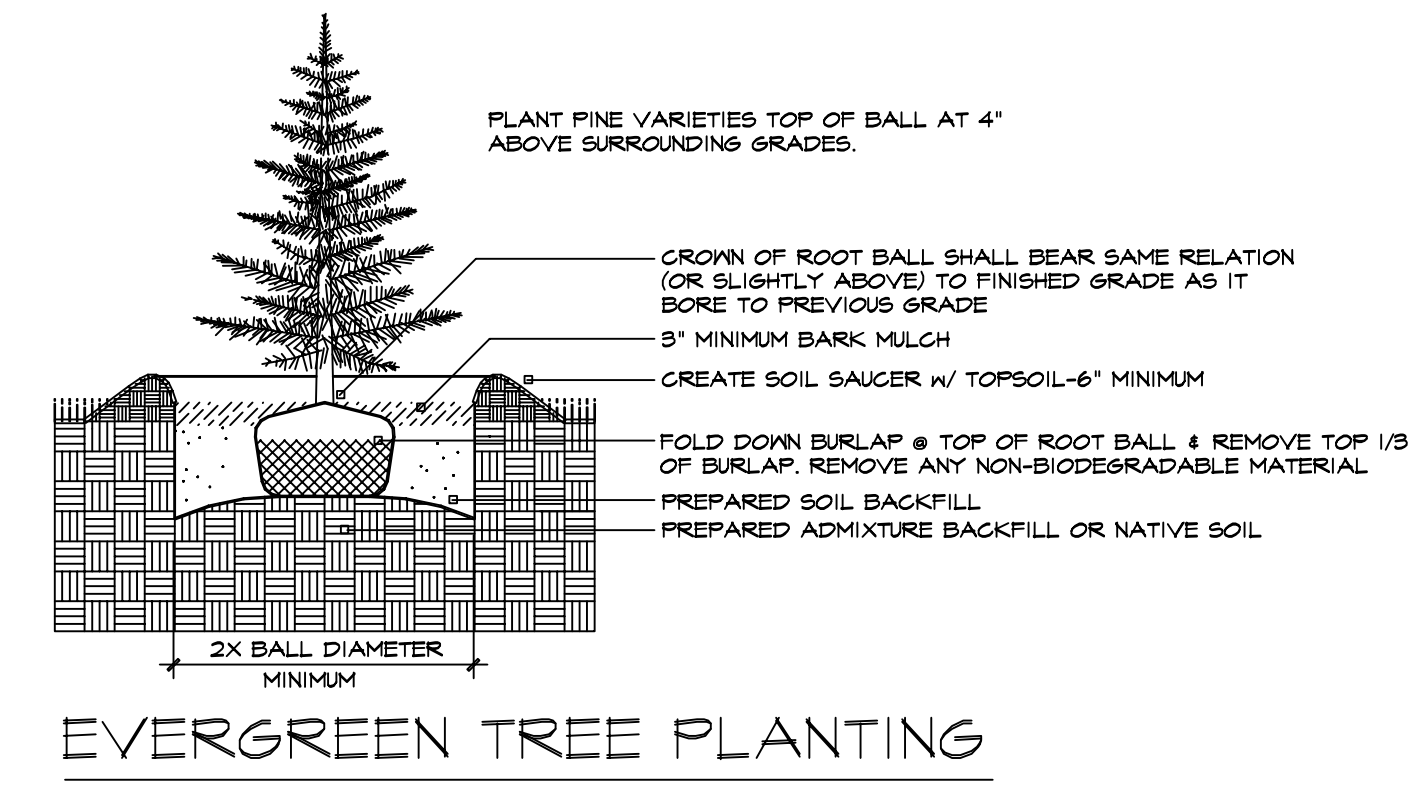
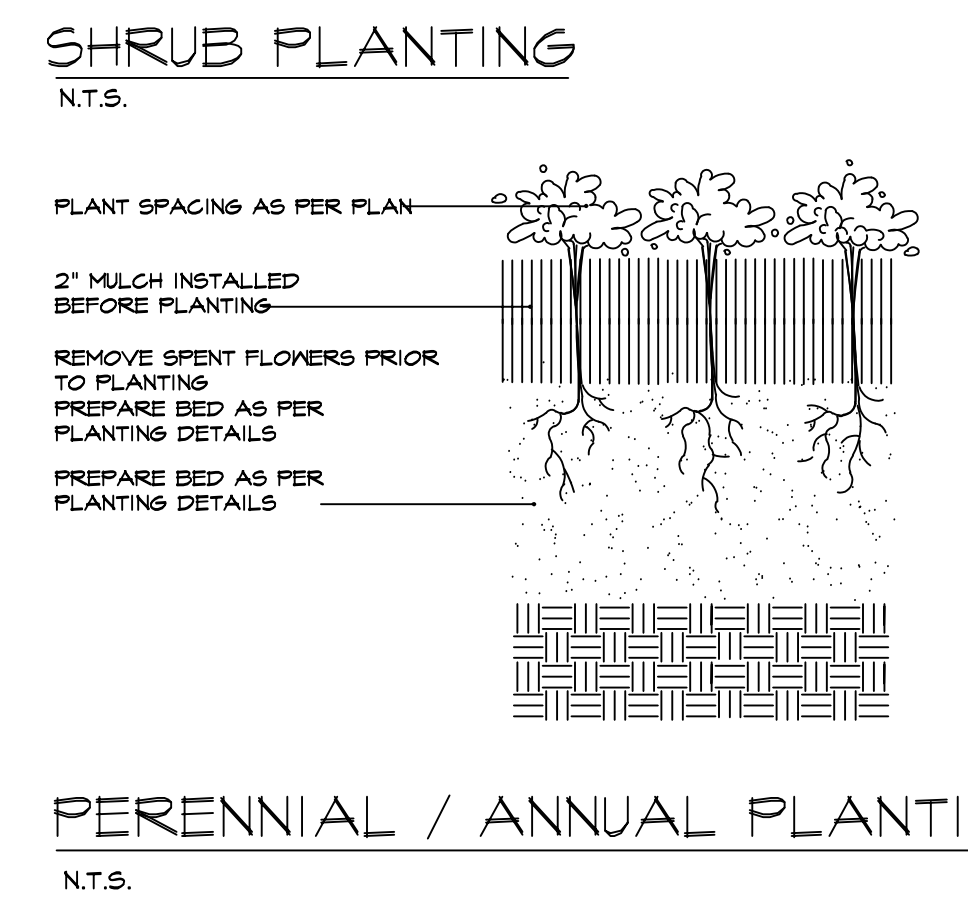
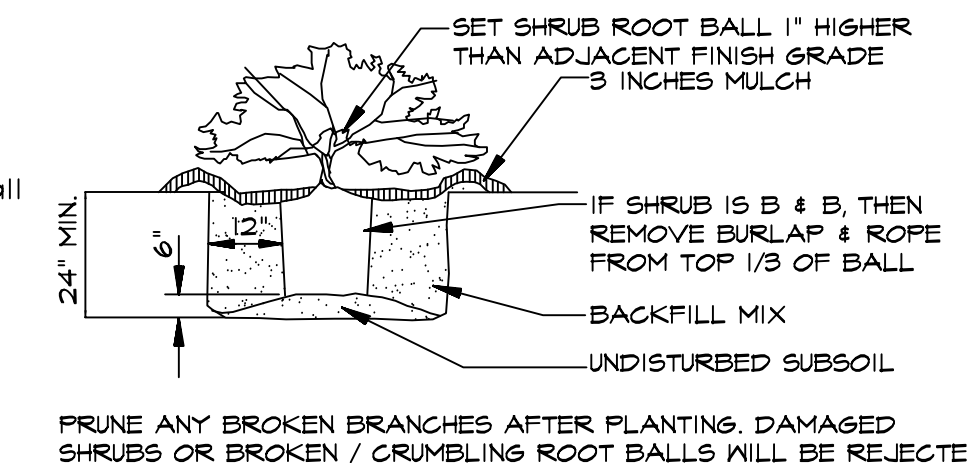
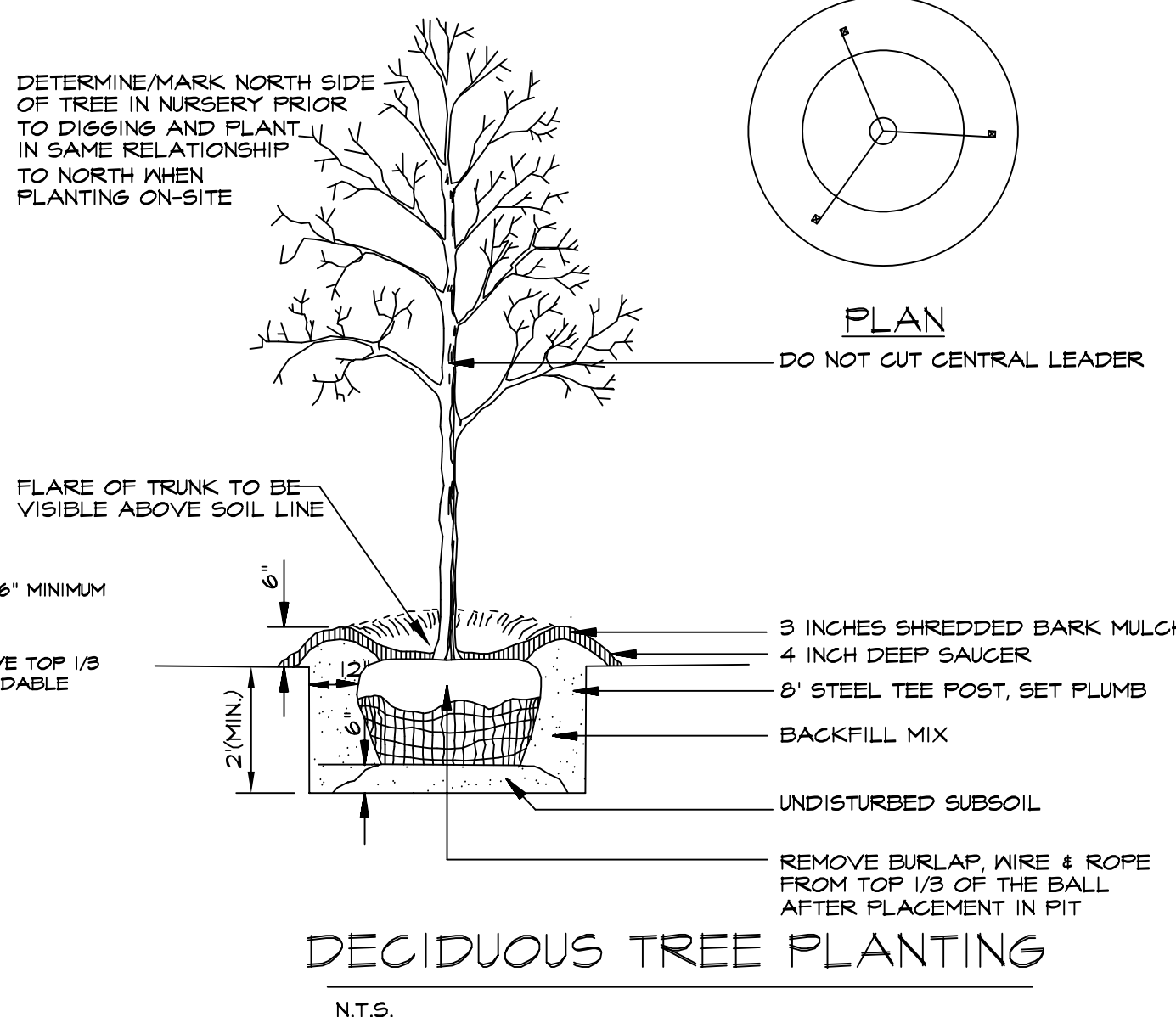
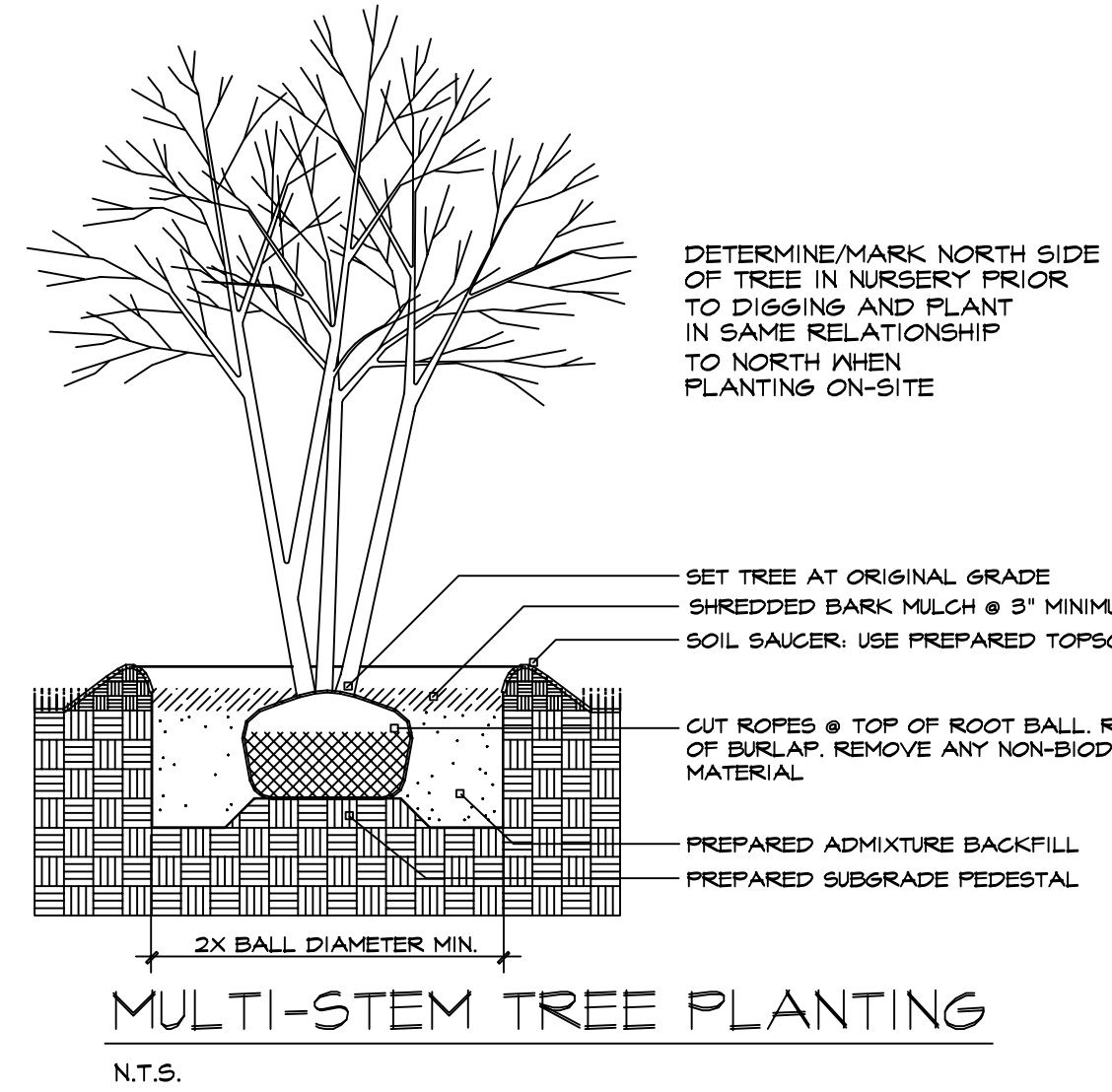
- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price.
- Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
- Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with warranty.
- Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
- A written guarantee shall be provided to the owner per conditions outlined in #1 above.

## IRRIGATION:

- All planting beds and lawn areas are to be irrigated with a fully automatic, in-ground irrigation system (By Others).

## MAINTENANCE:

- Landscape Contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials and annuals for a period of 12 months after acceptance.
- Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.



REVISIONS	BY

*Landscape*  
**TECHNOLOGIES**

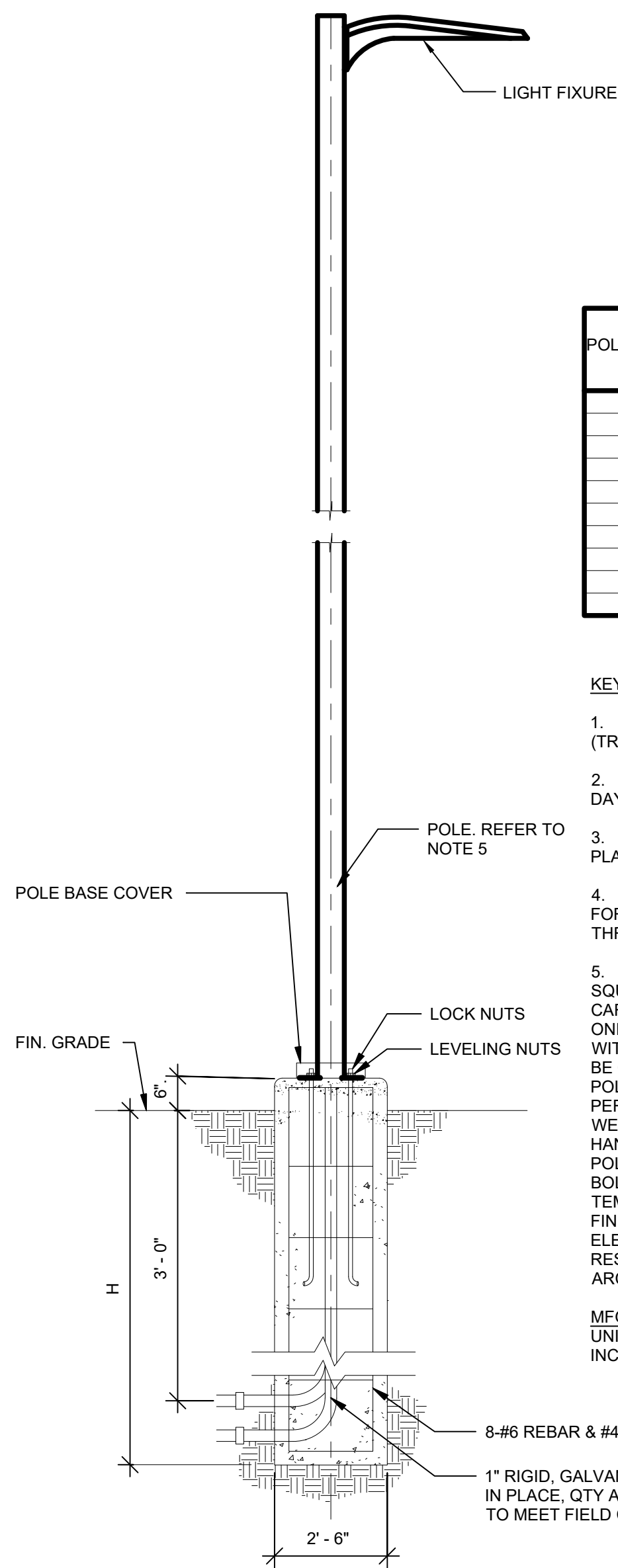
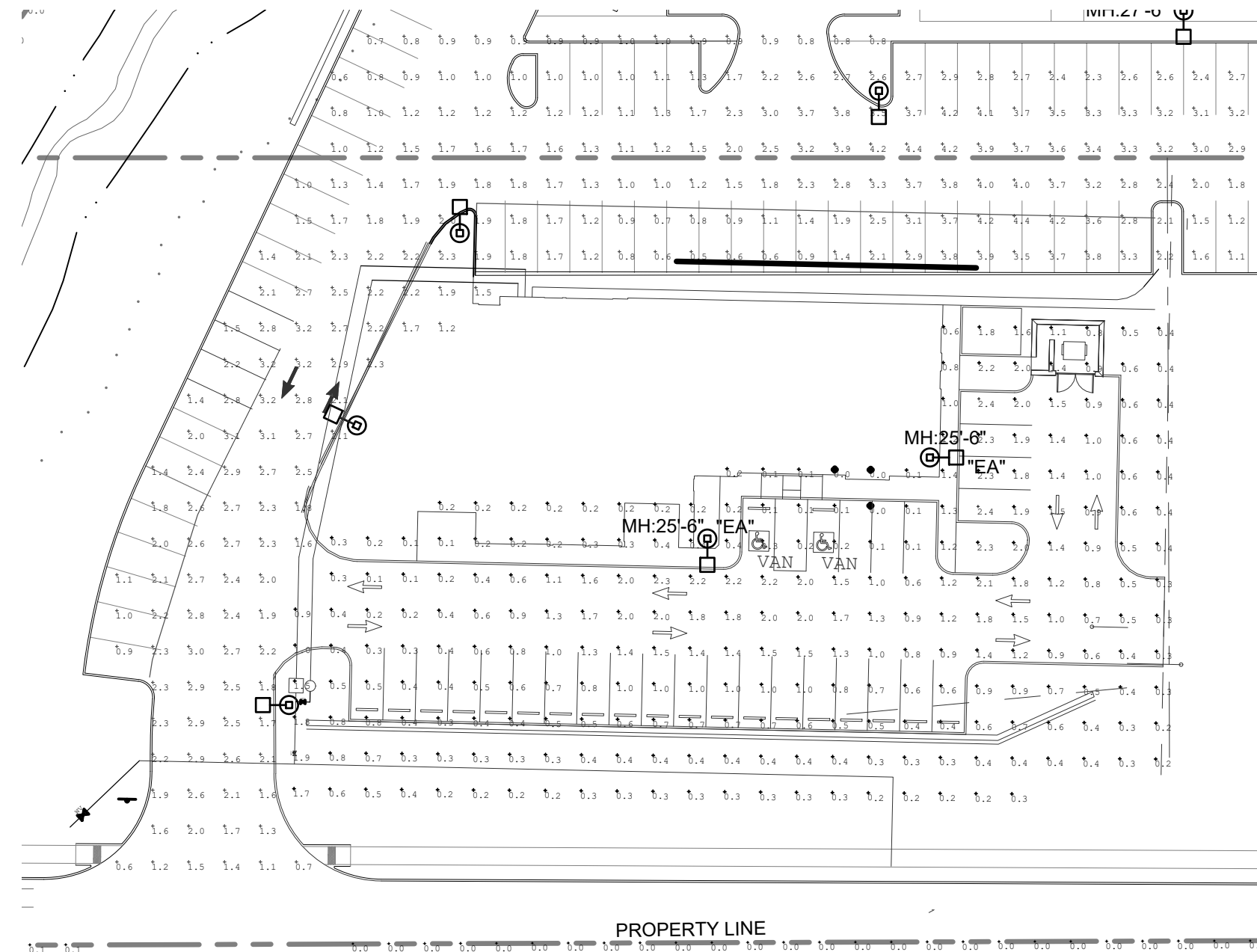
67 Jacobs Creek Drive  
St. Charles, Missouri 63304  
(636) 428-1250  
MO Landscape Architectural Corporation #2008060192

REGISTERED PROFESSIONAL ARCHITECT #000014  
RANDALL M. HARDSIS  
MAYORIS NUMBER 019  
DATE: 01/28/2024

PLANTING PLAN FOR THE PROPOSED  
**Prairie Ridge Animal Hospital**  
BRYAN @ FEISE ROADS DARDENNE PRAIRIE, MISSOURI

DRAWN  
R. HARDSIS  
CHECKED  
RHM/GJB  
DATE  
AUGUST 28, 2024  
SCALE  
N.A.  
JOB No.  
2024-188  
SHEET  
**L-2**  
OF 1100 SHEETS

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Tag	LLF	Luminaire Lumens	Luminaire Watts
	2	MRS-LED-15L-SIL-2-40-70CRI-IH	Single	EA	0.95	11780	111
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min		
VET PARKING LOT	illuminance	Fc	0.78	2.4	0.5		



POLE HEIGHT (FT.)	FOUNDATION BURIAL DEPTH "H" (FT.)	REINFORCING ROD LENGTH (FT.)
10-15	5	4.5
19	7	6.5
23	7	6.5
25	7	6.5
29	8	7.5
30	8	7.5
35	8.5	8.0
40	9	8.5
45	9.5	9.0
50	10	9.5

**KEYED NOTES:**

- TOP OF CONCRETE FOUNDATION. (TROWELL SMOOTH AND LEVEL)
- CONCRETE SHALL BE 3000 P.S.I. @ 28 DAYS. CONCRETE SHALL BE VIBRATED.
- VERIFY OPENING SIZE IN POLE BASE PLATE PRIOR TO SETTING CONDUIT SLEEVES.
- EXTEND CONDUITS 12" ABOVE TOP OF FORM. TERMINATE CONDUITS WITH INSULATED THROAT BUSHINGS.
- POLE: NOM. 25FT. TALL, STRAIGHT, SQUARE SHAFT, FABRICATED FROM HIGH TENSILE CARBON STEEL. POLE SHAFT SHALL BE ONE PIECE, ROLLED & FLATTENED INTO SHAPE WITH VERTICAL WELDED SEAM. POLE BASE SHALL BE OF SIMILAR MATERIAL, WELDED TO SHAFT. POLE TOP SHALL BE FLAT STEEL STOCK, PERMANENTLY SECURED TO SHAFT & SEALED WEATHERTIGHT. POLE SHALL BE PROVIDED WITH HANDHOLE & COVER, NOM. 18" ABOVE BASE. POLES SHALL BE PROVIDED WITH ALL ANCHOR BOLTS, NUTS, WASHERS, INSTALLATION TEMPLATES, ETC., REQ'D FOR INSTALLATION. POLE FINISH SHALL BE POLYESTER POWDER COAT, ELECTROSTATICALLY APPLIED OVER CORROSION RESISTANT UNDERCOAT, COLOR AS SELECTED BY ARCHITECT.

MFGS:  
UNITED LIGHTING STANDARDS INC. US POLE CO.  
INC. VALMONT INDUSTRIES OR EQUIVALENT

1" RIGID, GALVANIZED STEEL CONDUITS POURED IN PLACE, QTY AND ORIENTATION OF CONDUITS TO MEET FIELD CONDITIONS. REFER TO NOTE 4.

**LIGHT STANDARD DETAIL**  
NO SCALE

Catalog #: MRS-15L  
Prepared By: ENGENUITY

Project: THE LANDING OF OFALLON  
Date: 04/28/2022  
Type: SA, SB, SC

## Mirada Small Area (MRS)

### Outdoor LED Area Light

OVERVIEW	
Lumen Package	6,000 - 24,000
Wattage Range	41 - 196
Efficacy Range (LPW)	112 - 156
Fixture Weight lbs (kg)	20 (9.1)

**QUICK LINKS**

[Ordering Guide](#) | 
 [Performance](#) | 
 [Photometrics](#) | 
 [Dimensions](#)

**FEATURES & SPECIFICATIONS**

**Construction**

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 27 lbs in carton.

**Optical System**

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution types 2, 3, 5W, and FT.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377
- Minimum CRI of 70.
- Integral louver (L) and house-side shield (HS) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

**Electrical**

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.

**Standard Universal Voltage (120-277 VAC)**

- Input 50/60 Hz or optional High Voltage (347-480 VAC).
- L70 Calculated Life: >60k Hours
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F).
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C82.41.2).
- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

**Controls**

- Optional integral passive infrared Bluetooth™ motion and photocell sensor. Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7.

**Installation**

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional B3 drill pattern.

**Warranty**

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet locations.
- IP66 rated luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- IK08 rated luminaire per IEC 66262 mechanical impact code
- DesignLights Consortium® Listings in progress.

Specifications and dimensions subject to change without notice.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsi-industries.com  
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SPEC.1045.A.0620

**ORDERING GUIDE**

Project: \_\_\_\_\_

## Mirada Small Area Light (MRS)

[Back to Quick Links](#)

**TYPICAL ORDER EXAMPLE:** **MRS LED 18L SIL FT UNV DIM 40 70CRI ALBCS1 BLK IH**

Luminaire Prefix	Light Source	Lumen Package	Lens	Distribution	Orientation <sup>1</sup>	Voltage	Driver
MRS - Mirada Small Area Light	LED	BL - 6,000 lms R - 6,000 lms TL - 12,000 lms 18L - 15,000 lms 18L - 18,000 lms 21L - 21,000 lms 24L - 24,000 lms Custom Lumen Packages <sup>2</sup>	SIL - Silicone	2 - Type 2 3 - Type 3 5W - Type 5 Wide FT - Forward Throw	(blank) - standard L - Optics rotated left 90° R - Optics rotated right 90°	UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V)	DIM - 0-10V Dimming (0-10%)

Color Temp	Color Rendering	Controls (Choose One)	Finish	Options
50 - 5000 CCT 40 - 4000 CCT 30 - 3000 CCT	70CRI - 70 CRI	(Blank) - None <b>Wireless Controls System</b> ALSC - AirLink Synapse Control System ALSC2 - AirLink Synapse Control System with 12.5' MH Motion Sensor ALSC3 - AirLink Synapse Control System with 20-40' MH Motion Sensor ALBCS1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' MH) ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-42' MH)	BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White	(Blank) - None IH - Integral House-side Shield <sup>3</sup> IL - Integral Louver (Sharp Spill Light Cutoff) <sup>4</sup>

**Standard-Only Controls**  
EXT - 0-10V Dimming leads extended to housing exterior  
CRTP - 7 Pin Control Resistor (ANSI C136.41)<sup>5</sup>  
MSBT1 - Integral Bluetooth™ Motion and Photocell Sensor (8-24' MH)<sup>6</sup>  
MSBT2 - Integral Bluetooth™ Motion and Photocell Sensor (25-42' MH)<sup>6</sup>

**Accessory Ordering Information<sup>6</sup>**

Controls Accessories		Mounting Accessories	
Description	Order Number	Description	Order Number <sup>6</sup>
Twist Lock Photocell (120V) for use with CRTP	122514	Universal Mounting Bracket	684616CLR
Twist Lock Photocell (208-277V) for use with CRTP	122515	Adjustable Slip Fitter (2" - 2 3/8" Tenon)	688138CLR
Twist Lock Photocell (347V) for use with CRTP	122516	Horizontal Slip Fitter (2" - 2 3/8" Tenon)	652761CLR
Twist Lock Photocell (480V) for use with CRTP	1225180	Quick Mount Pole Bracket (Square Pole)	687073CLR
AirLink 5 Pin Twist Lock Controller	661409	Quick Mount Pole Bracket (4-5" Round Pole)	689903CLR
AirLink 5 Pin Twist Lock Controller	661410	15 Tilt Quick Mount Pole Bracket (Square Pole)	688003CLR
Pole-Mounted Occupancy Sensor (24V)	663284CLR <sup>6</sup>	15 Tilt Quick Mount Pole Bracket (4-5" Round Pole)	689905CLR
Starting Cap for use with CRTP	148328	Wall Mount Bracket	382123CLR

Fusing Options <sup>7</sup>		Shielding Options		Shielding & Miscellaneous Accessories	
Description	Order Number	Description	Order Number	Description	Order Number
Single Fusing (120V)	See Fusing Accessory Guide	Mirada Small	See Shielding Guide	Integral Louver/Shield	763446
Single Fusing (277V)		Mirada Medium		Integral House-side Shield	763446
Double Fusing (208V, 240V)	See Fusing Accessory Guide	Mirada Large	See Shielding Guide	1" Linear Bird Spike Kit (2" Recommended per Luminaire)	751632
Double Fusing (480V)		Zone Medium			
Double Fusing (347V)		Zone Large			
		Zone Medium			

**FOOTNOTES:**

- Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
- Not available on "Type 5W" distribution.
- Control device or shading cap must be ordered separately. See Accessory Ordering Information.
- MSBT is field configurable via the LSI app that can be downloaded from your smartphone's native app store.
- Accessories are shipped separately and field installed.
- "CLR" denotes finish. See Finish options.
- Fusing must be located in hand hole of pole. See Fusing Accessory Guide for compatibility.

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SPEC.1045.A.0620

**ENGENUITY**  
BUILDING VALUE  
BY DESIGN

17057 N. OUTER FORTY ROAD  
CHESTER, IL 62630  
P: (314) 819-9189  
WWW.THEENUGUITY.COM  
MISSOURI CERTIFICATE OF AUTHORITY:  
E232121017554

PREPARED FOR:

**MIA ROSE HOLDINGS**

CONTACTS: TOM KAWMAN  
JIM COOK

**THE PRAIRIE ENCORE  
P.U.D. AREA PLAN**

1575 BRYAN ROAD  
DARDENNE PRAIRIE, MISSOURI 63366

Project No: 22-0113

No	Description	Date

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DATE: 08/30/2024  
SCALE:

PHOTOMETRIC  
SCHEDULES & DETAILS

PH100 VET

**PRELIMINARY PLAN - NOT FOR CONSTRUCTION**







## Planning & Development Manager

Phone 636.755.5314  
Fax: 636.898.0923  
Tstreiler@DardennePrairie.org

City Hall  
2032 Hanley Road  
Dardenne Prairie, MO 63368  
Phone 636.561.1718  
Fax 636.625.0077

October 22, 2024

Karl Schoenike, PE  
Civil & Environmental Consultants, Inc  
3000 Little Hills Expressway, Suite 102  
St. Charles, MO 63301  
Mobile: 636-432-2144

Subject: Pleated Boutique-CUP Application & Site Plan  
Dardenne Prairie Project No. 24-1080

Dear Mr. Kuenzel:

The proposed CUP Application, Site Plan and fees in the amount of \$1,763.25 were received by the City on October 8, 2024. Staff has reviewed the items for completeness and compliance with the applicable regulations and submit the following comments and recommendations.

1. Add the Dardenne Prairie project number, noted above, to the upper right-hand corner of Sheet SP01.
2. Under General Notes items 1 and 2, change "General Commercial" to "Retail Commercial".
3. Under the parking calculations, please include a portion of the office as retail, which requires 1 stall per 200 sf of retail space up to 1,999 sf of retail space.
4. Be advised, street trees shall be planted along all streets every 60' in accordance with Section 515,100 A.2.
5. Please include landscaping at the base of the building and trash enclosure on the site plan & landscape plan as shown on the architectural renderings.
6. As required by Section 405.770 A.10., provide the location, height and intensity of all exterior lighting on the site plan.
7. As required by Section 405.770 A.13-15, provide a preliminary stormwater management plan and erosion/silt control plan pursuant to the requirements of Chapter 550 of this Code.
8. Show the 25' front/side and 15' rear setbacks on the site plan.
9. Provide a letter indicating how the above comments were addressed. Include the Dardenne Prairie project number above in all correspondence and submitted documents. Be advised, additional comments will be forthcoming from the City Engineer.

Once the above items have been satisfactorily addressed, please submit the following items for distribution to the Planning and Zoning Commission and Board of Aldermen:

- One (1) 11x17 copy and twenty-five (25) full-size **folded** copies of the site plan, elevations and landscape plan revised to address the comments above.

Subject: Pleased Boutique Site Plan  
1<sup>st</sup> Review  
Dardenne Prairie Project No. 24-1080

- One (1) electronic copy (pdf format) of all items submitted to the City.

The CUP application and site plan may be considered by the Planning and Zoning Commission at their November 13, 2024, and by the Board of Aldermen at their November 20, and December 4, 2024, meeting. The meetings are planned to take place at the City Hall at 2032 Hanley Road and start at 7pm. The site plan and any other materials or visual aids either submitted to the Commission and/or Board of Aldermen or presented at their meeting shall become the property of the City and part of the permanent record.

If you have any questions, please feel free to contact me.

Respectfully,



Todd Streiler, AICP, LEED AP  
Planning & Development Manager

cc: John Gotway, Mayor  
Tom Weiss, City Engineer  
Kim Clark, City Clerk



October 25, 2024

City of Dardenne Prairie  
2032 Hanley Road  
Dardenne Prairie, MO 63368

Dear Todd Streiler:

Subject: Pleated Boutique  
Dardenne Prairie Project #24-1080  
Technology Drive  
Dardenne Prairie, MO 63368  
CEC Project 345-921

Pleated Boutique is a proposed retail and warehouse commercial building at the corner of Technology Drive and Merz Farm Lane. The building will be 11,895 sq. ft with off-site parking and water quality & detention basin. Responses to the criteria for conditional use are below in blue:

1. Add the Dardenne Prairie project number, noted above, to the upper right-hand corner of Sheet SP01.  
[Project number added to sheet SP01.](#)
2. Under General Notes items 1 and 2, change "General Commercial" to "Retail Commercial".  
[General notes updated.](#)
3. Under the parking calculations, please include a portion of the office as retail, which requires 1 stall per 200 sf of retail space up to 1,999 sf of retail space.  
[Parking calculations updated.](#)
4. Be advised, street trees shall be planted along all streets every 60' in accordance with Section 515,100 A.2.  
[Acknowledged. Trees are currently spaced with <60' between trees on all 3 streets.](#)
5. Please include landscaping at the base of the building and trash encloser on the site plan & landscape plan as shown on the architectural renderings.  
[Added to Landscape Plan.](#)
6. As required by Section 405.770 A.10., provide the location, height and intensity of all exterior lighting on the site plan.  
[Photometric exhibit to be added.](#)

Pleated Boutique  
Dardenne Prairie Project #24-1080  
CEC Project 345-921  
Page 2  
October 25, 2024

7. As required by Section 405.770 A.13-15, provide a preliminary stormwater management plan and erosion/silt control plan pursuant to the requirements of Chapter 550 of this Code.

[Drainage Area Maps and Stormwater Management Plan sheets added.](#)

8. Show the 25' front/side and 15' rear setbacks on the site plan.

[Setbacks added to site plan.](#)

Notices were also mailed out to the surrounding property owners withing 300' of this site as requested.

Sincerely,



Karl A. Schoenike, PE  
Project Manager III  
CIVIL & ENVIRONMENTAL CONSULTANTS, INC.

Enclosures: Site Plan

# PLEATED BOUTIQUE TECHNOLOGY DRIVE SITE PLAN

A TRACT OF LAND BEING LOTS 6 AND 27 AND PART OF LOTS 7 AND 28 OF THE "J.G. JONES JR. SUBDIVISION", AS RECORDED IN PLAT BOOK 5 PAGE 96 OF THE ST. CHARLES COUNTY, MISSOURI RECORDER'S OFFICE LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 46 NORTH, RANGE 2 EAST CITY OF DARDENNE PRAIRIE, SAINT CHARLES COUNTY, MISSOURI

### GENERAL NOTE

- ST. CHARLES COUNTY PARCEL NUMBER: 4-0036-4317-00-0000
- ZONING: C-3 RETAIL COMMERCIAL
- PROPOSED ZONING: C-3 RETAIL COMMERCIAL WITH CONDITIONAL USE
- GROSS AREA OF SITE: 1.39 ACRES
- TECHNOLOGY DRIVE DARDENNE PRAIRIE, MO 63368
- SETBACK AND YARD REQUIREMENTS:  
FRONT - 25FT  
SIDE - 10FT OR 25FT STREET SIDE OF A CORNER LOT  
REAR - 15FT
- THIS PROPERTY IS SERVED BY THE FOLLOWING UTILITIES/AGENCIES:  
WATER - PUBLIC WATER SUPPLY DISTRICT NO. 2  
ELECTRIC - CUIVRE RIVER ELECTRIC COOPERATIVE  
TELEPHONE - CENTURY TEL  
GAS - SPIRE MO EAST  
SANITARY - DUCKETT CREEK SANITARY DISTRICT  
FIRE DISTRICT - WENTZVILLE FIRE PROTECTION DISTRICT  
SCHOOL DISTRICT - WENTZVILLE SCHOOL DISTRICT
- FLOOD PLAIN INFORMATION:  
AS DETERMINED THROUGH GRAPHICAL PLOTTING, SUBJECT TRACT FALLS IN ZONE "X" PER FIRM MAP PANEL 215 OF S25 MAP NUMBER 2918303220G, EFFECTIVE DATE, JANUARY 20, 2016
- STREET LIGHTS WILL BE INSTALLED BY THE DEVELOPER.
- ALL NECESSARY UTILITIES (PRIVATE AND PUBLIC) WILL BE AVAILABLE, FUNCTIONING AND USABLE AT THE TIME ANY STAGE OF THE PROJECT OR THE TOTAL OF THE PROJECT IS READY FOR OCCUPANCY.
- SEDIMENT AND EROSION CONTROL PLAN WILL BE SUBMITTED WITH THE IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY THE CITY ENGINEER.
- STORM WATER QUALITY AND DETENTION SHALL BE PROVIDED BY A BASIN ON THE EAST SIDE OF THE SITE. ENGINEERING CALCULATION AND REPORTS WILL BE SUBMITTED WITH THE IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY THE CITY ENGINEER.

### PARKING CALCULATIONS

REQUIRED PARKING:

RETAIL:  
1 SPACE per 200 SQFT  
3000 SQFT \* 1/200 = 15 SPACES REQUIRED

WAREHOUSE:  
1 SPACE per EMPLOYEE + 1 SPACE per COMPANY VEHICLE  
12 EMPLOYEES + 2 VEHICLES = 14 SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED: 29 SPACES

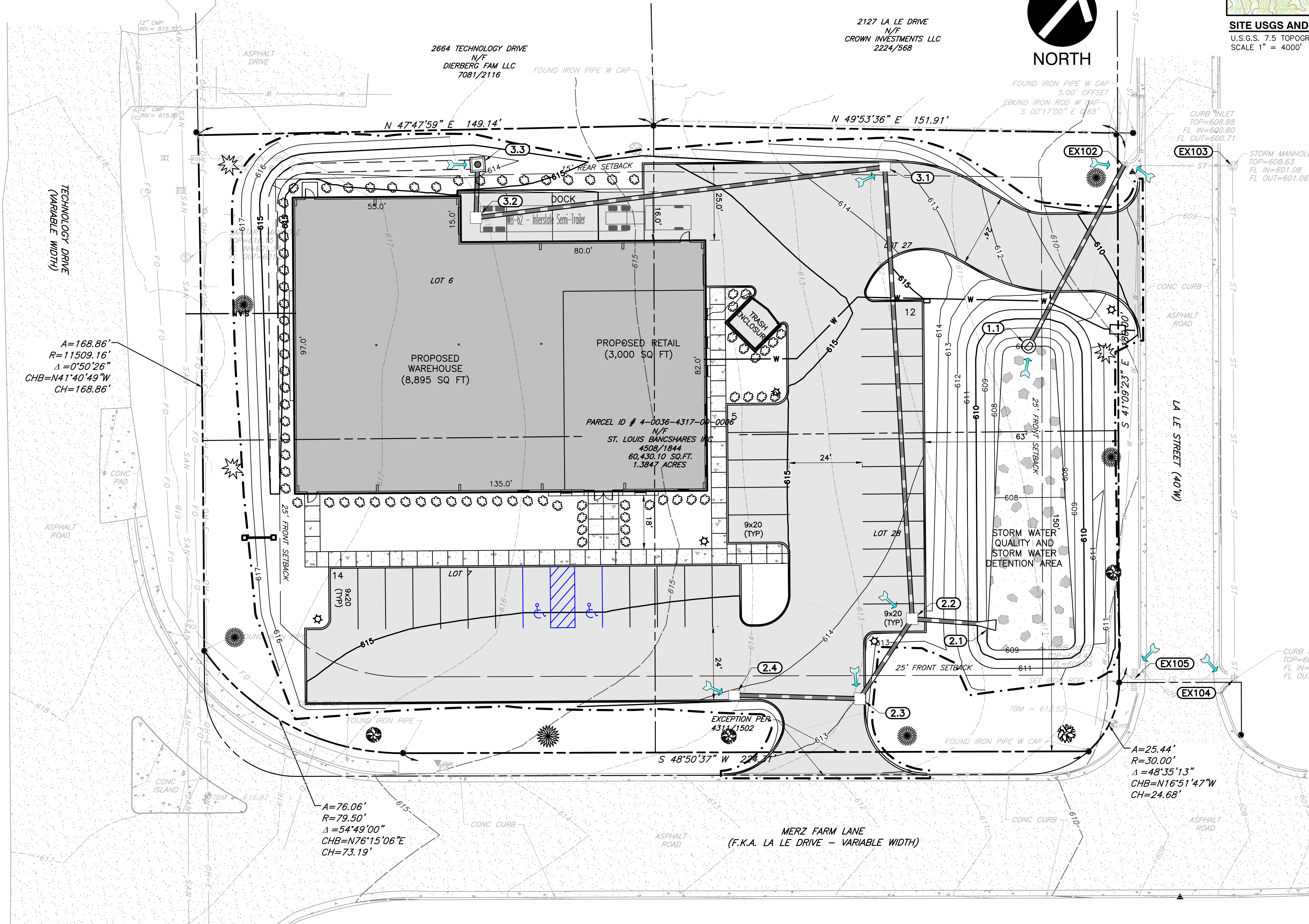
PARKING SPACES PROVIDED: 31 SPACES INCLUDING 2 ADA

### Sheet List Table

SHEET NO.	DWG. NO.	TITLE
SITE/GRADING PLAN	01	SP01
LANDSCAPE PLAN	02	SP02
EXISTING CONDITIONS	03	SP03
DETAILS	04	SP04
PRE-DEVELOPED DRAINAGE AREA MAP	05	SP05
POST-DEVELOPED DRAINAGE AREA MAP	06	SP06
EROSION & SEDIMENT PLAN	07	SP07
LIGHTING PLAN	08	SP08

### LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING RIGHT-OF-WAY
	EXISTING INDEX (MAJOR) CONTOUR
	EXISTING INTERMEDIATE (MINOR) CONTOUR
	EXISTING DRAINAGE DITCH
	EXISTING FENCE LINE
	EXISTING ROADWAY CENTERLINE
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING ASPHALT PAVEMENT
	EXISTING STRUCTURE
	EXISTING STORM PIPE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRE
	EXISTING ELECTRIC LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING FIBER OPTIC LINE
	EXISTING STREAM
	EXISTING WETLAND
	EXISTING FLOODWAY
	EXISTING GUIDE RAIL
	PROPOSED CURB & GUTTER
	PROPOSED CONCRETE
	PROPOSED STRIPING
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED INDEX (MAJOR) CONTOUR
	PROPOSED INTERMEDIATE (MINOR) CONTOUR
	PROPOSED SLOPE LABEL
	PROPOSED SPOT ELEVATION



**SITE USGS AND VICINITY MAP**  
U.S.G.S. 7.5 TOPOGRAPHIC MAP, "WENTZVILLE" QUADRANGLE, "MO", DATED "2021", SCALE 1" = 4000'

**OWNER**  
ST LOUIS BANCSHARES INC  
9811 S FORTY DR  
ST LOUIS, MO 63124

**DEVELOPER**  
PLEATED BOUTIQUE  
717 CROWN INDUSTRIAL COURT, SUITE F  
CHESTERFIELD, MO 63305  
CONTACT: LISA ROSE  
314-656-4566

**ENGINEER**  
CIVIL & ENVIRONMENTAL CONSULTANTS, INC.  
3000 LITTLE HILLS EXPRESSWAY, STE. 102  
ST. CHARLES, MISSOURI 63301  
314-656-4566  
KSCHOENIKE@CECINC.COM

**ARCHITECT**  
BALMAN ARCHITECTS  
42 DANIEL DRIVE  
O'FALLON, MO 63366  
MIKE@BALMANARCHITECTS.COM  
636-294-9811

**SITE BENCHMARKS**  
BASIS OF BEARING FOR THIS SITE IS MISSOURI EAST STATE PLANE. SITE WAS SCALED TO GROUND USING A GROUND SCALE FACTOR DERIVED FROM A CENTRAL POINT ON SITE USING TRIMBLE ACCESS SOFTWARE ON A TSC7 DATA COLLECTOR. SAID POINT IS AT  
LAT 38°45'53.37353"N  
LONG 90°45'59.51596"W  
HEIGHT 507.460'  
GROUND SCALE FACTOR=1.0000842859

**REFERENCE**  
1. TOPOGRAPHIC INFORMATION BASED UPON A SURVEY CONDUCTED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC IN SEPTEMBER, 2024.

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SCALE IN FEET  
0 20 40  
KARL ANTHONY SCHOENIKE  
(MO PE#2003015039)  
\*HAND SIGNATURE ON FILE



PLEATED BOUTIQUE  
SITE PLAN  
SITE/GRADING PLAN  
OCTOBER, 2024 (DRAWN BY: JUR)  
DATE: OCTOBER, 2024 (CHECKED BY: KAS)  
DWG SCALE: 1"=20' (PROJECT NO: 345-821,000)  
APPROVED BY: JST

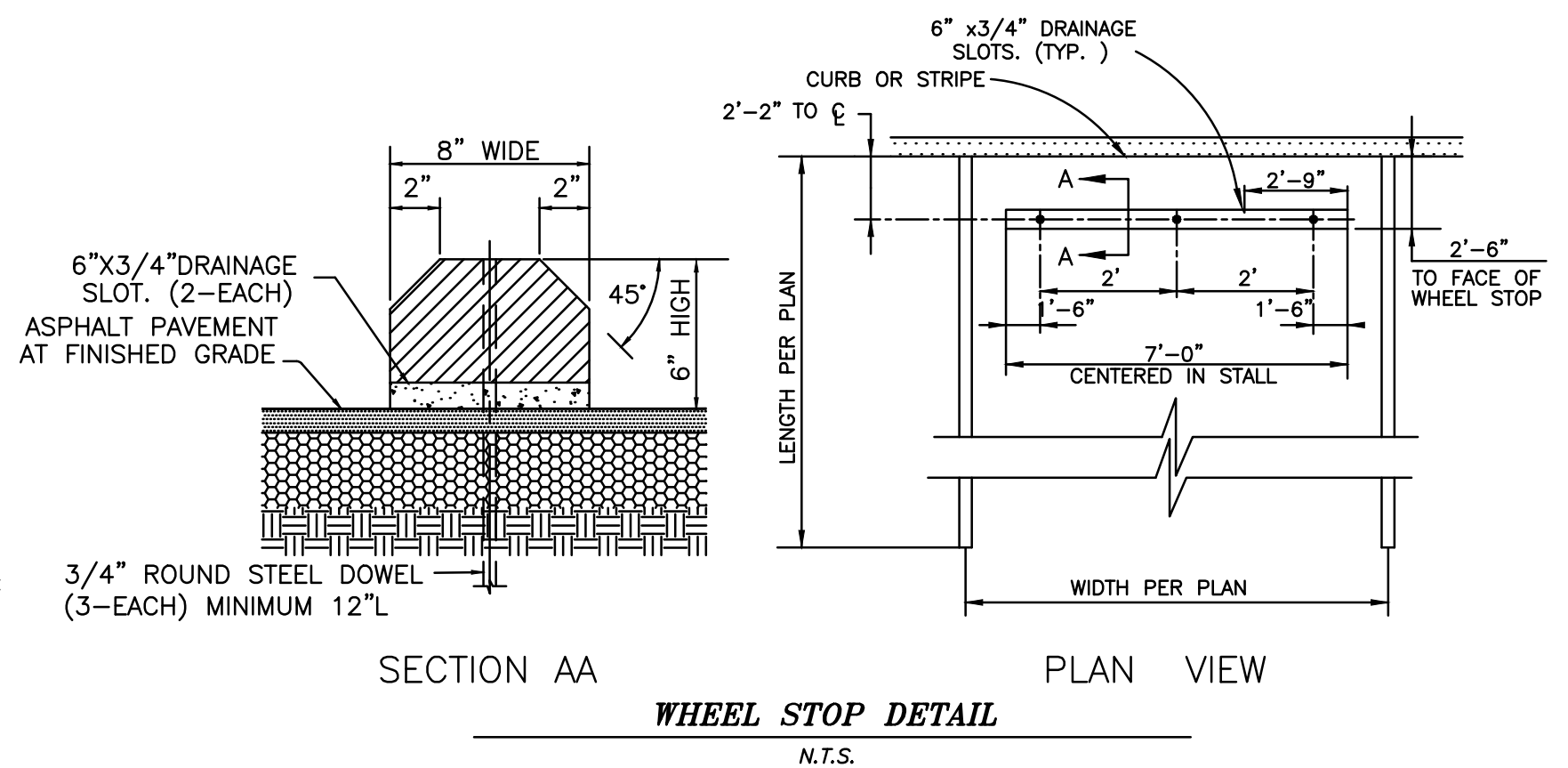
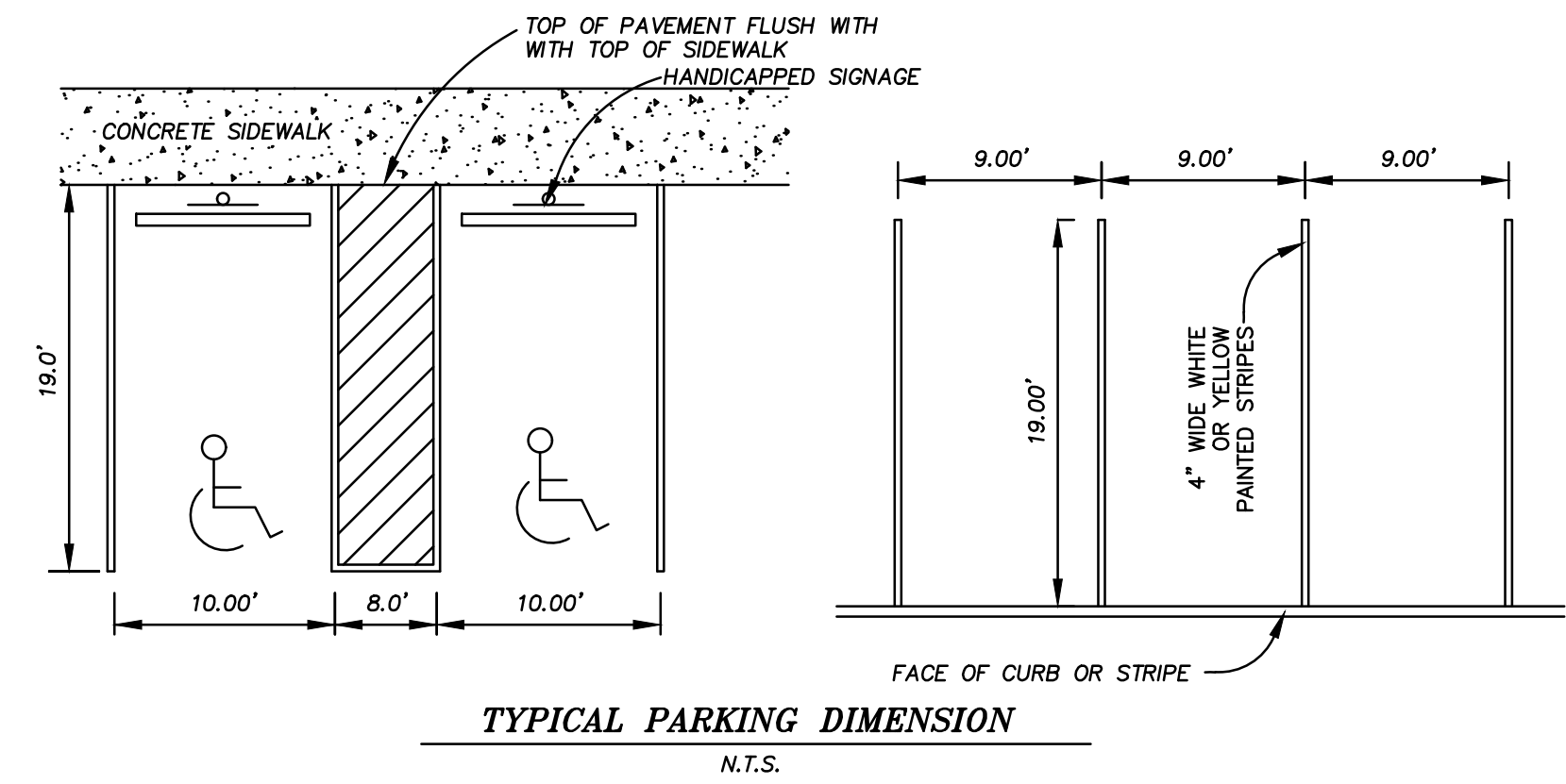
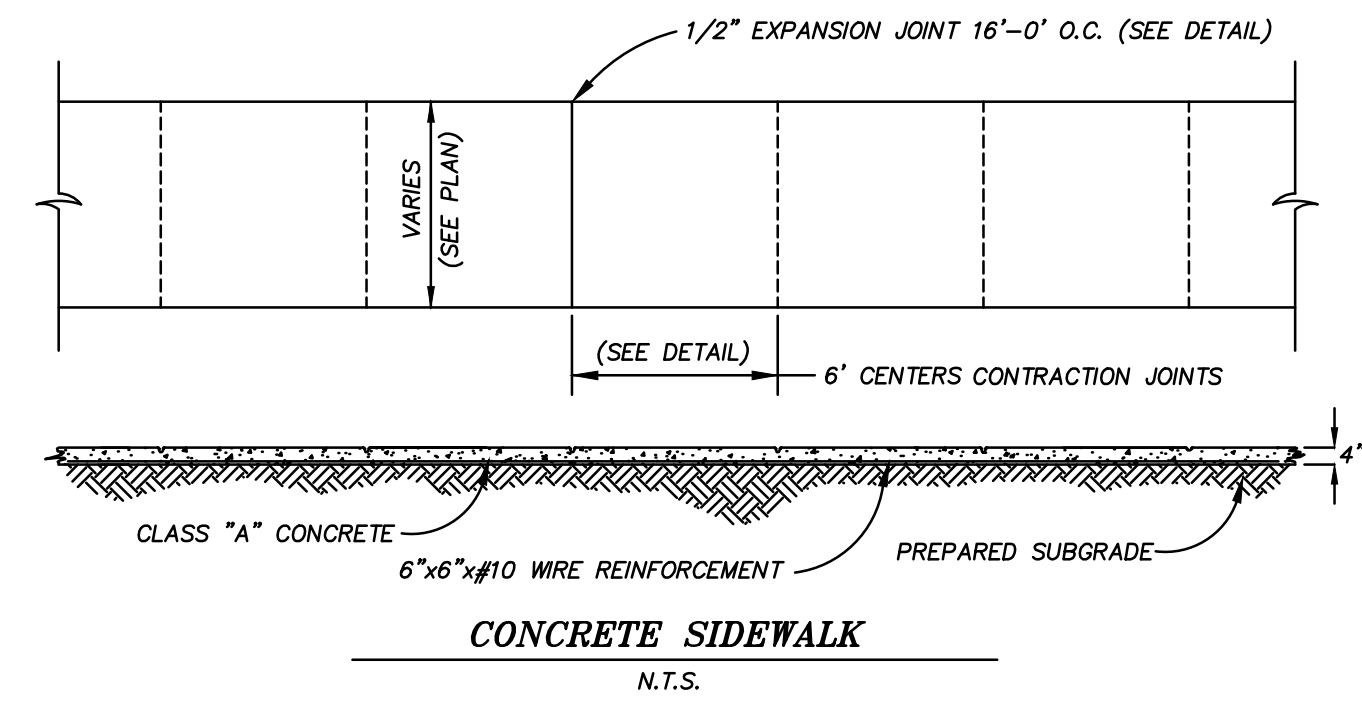
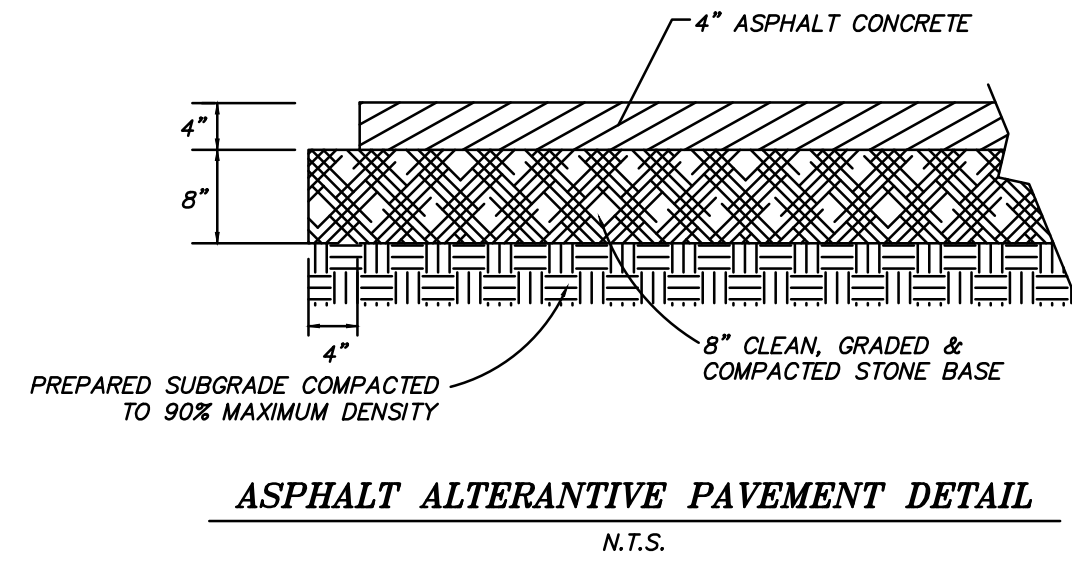
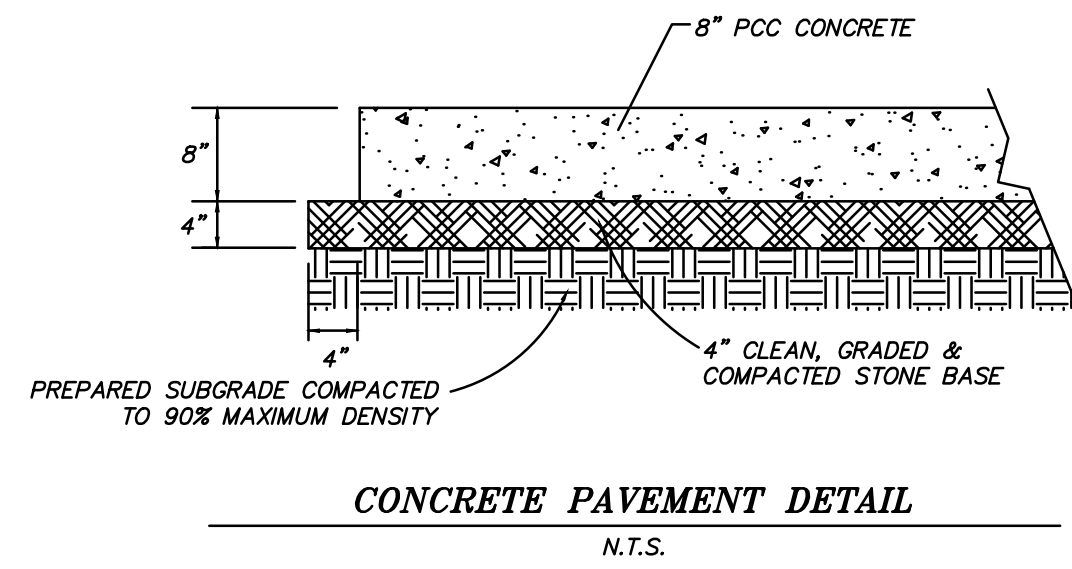
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CHESTERFIELD, MO 63305  
DARDENNE PRAIRIE, MO

3000 Little Hills Expressway  
Suite 102  
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www.cecinc.com  
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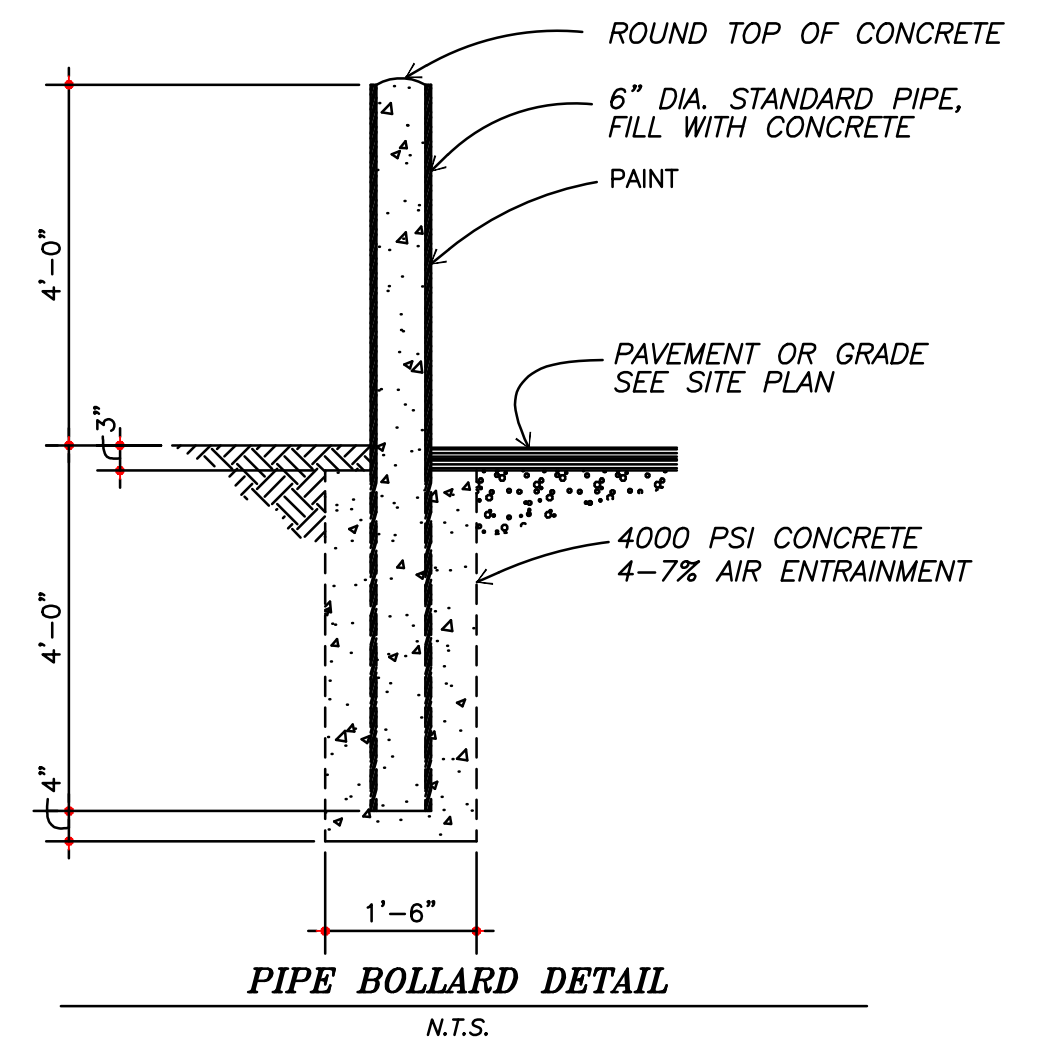
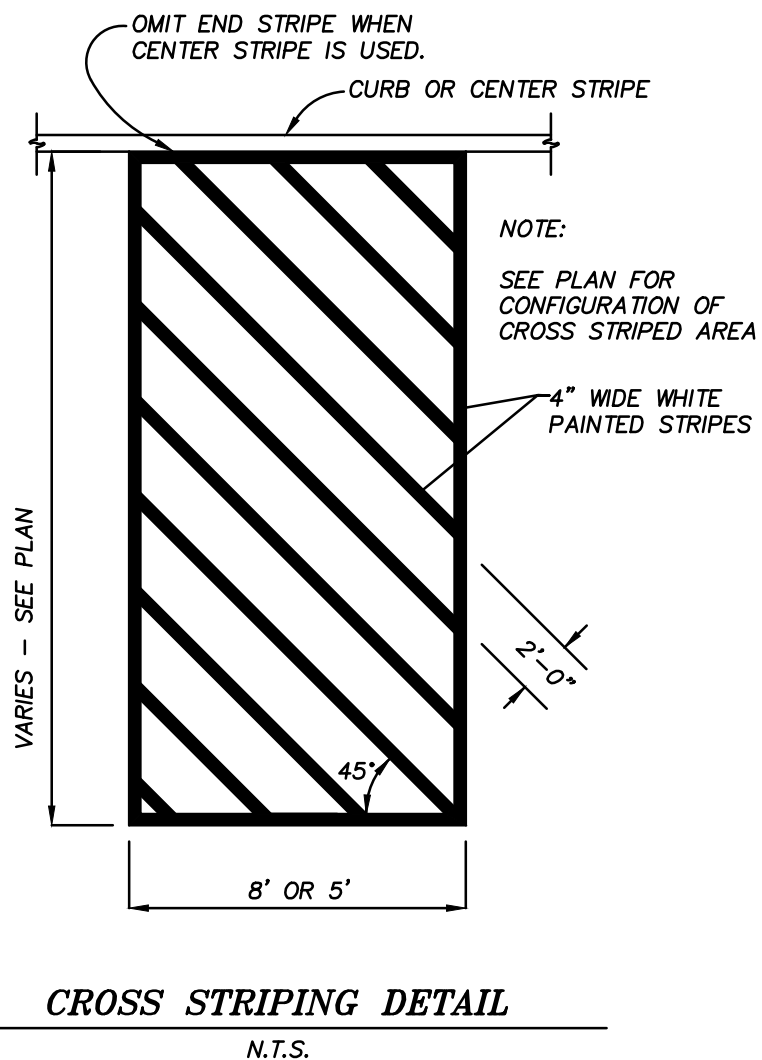
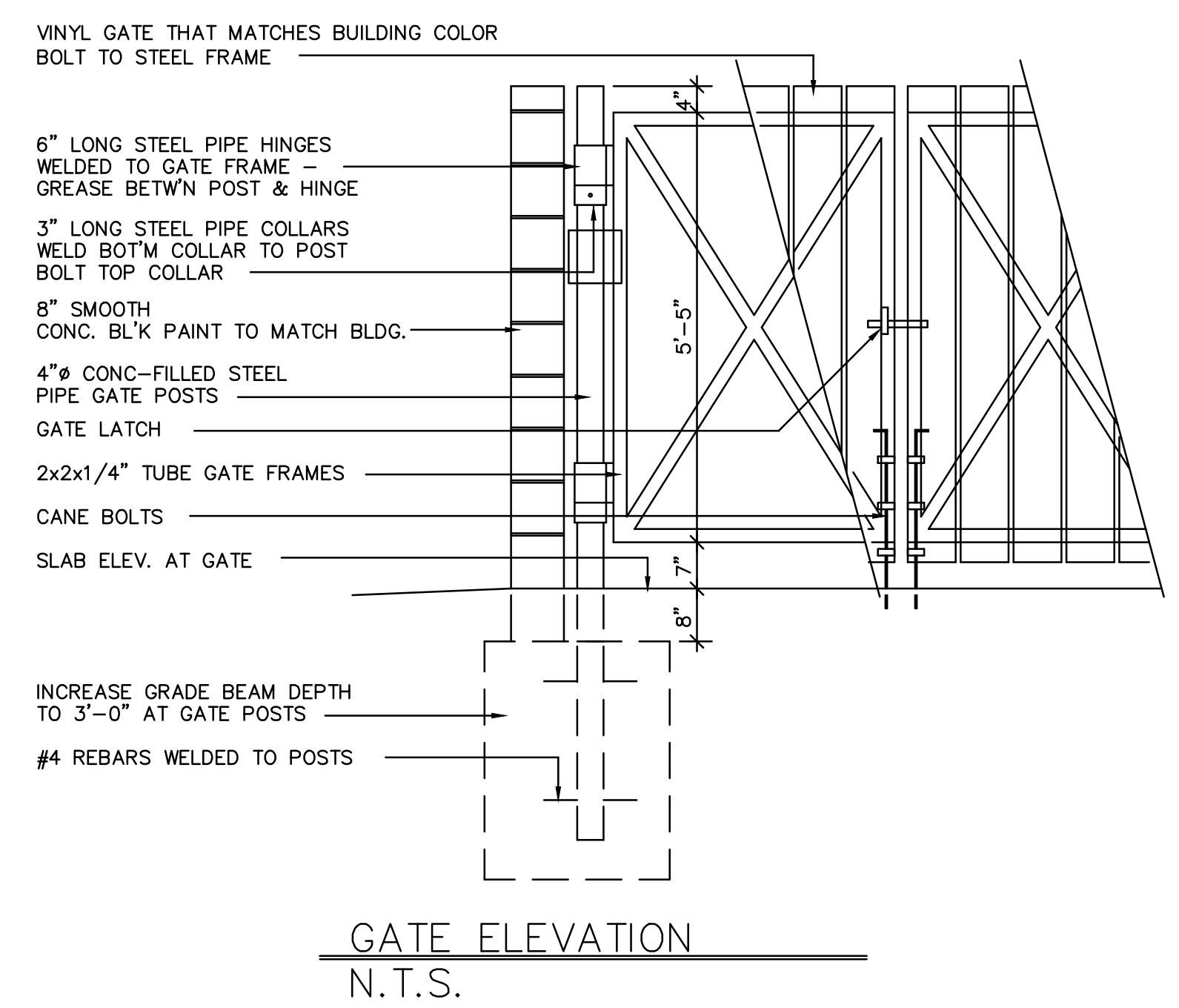
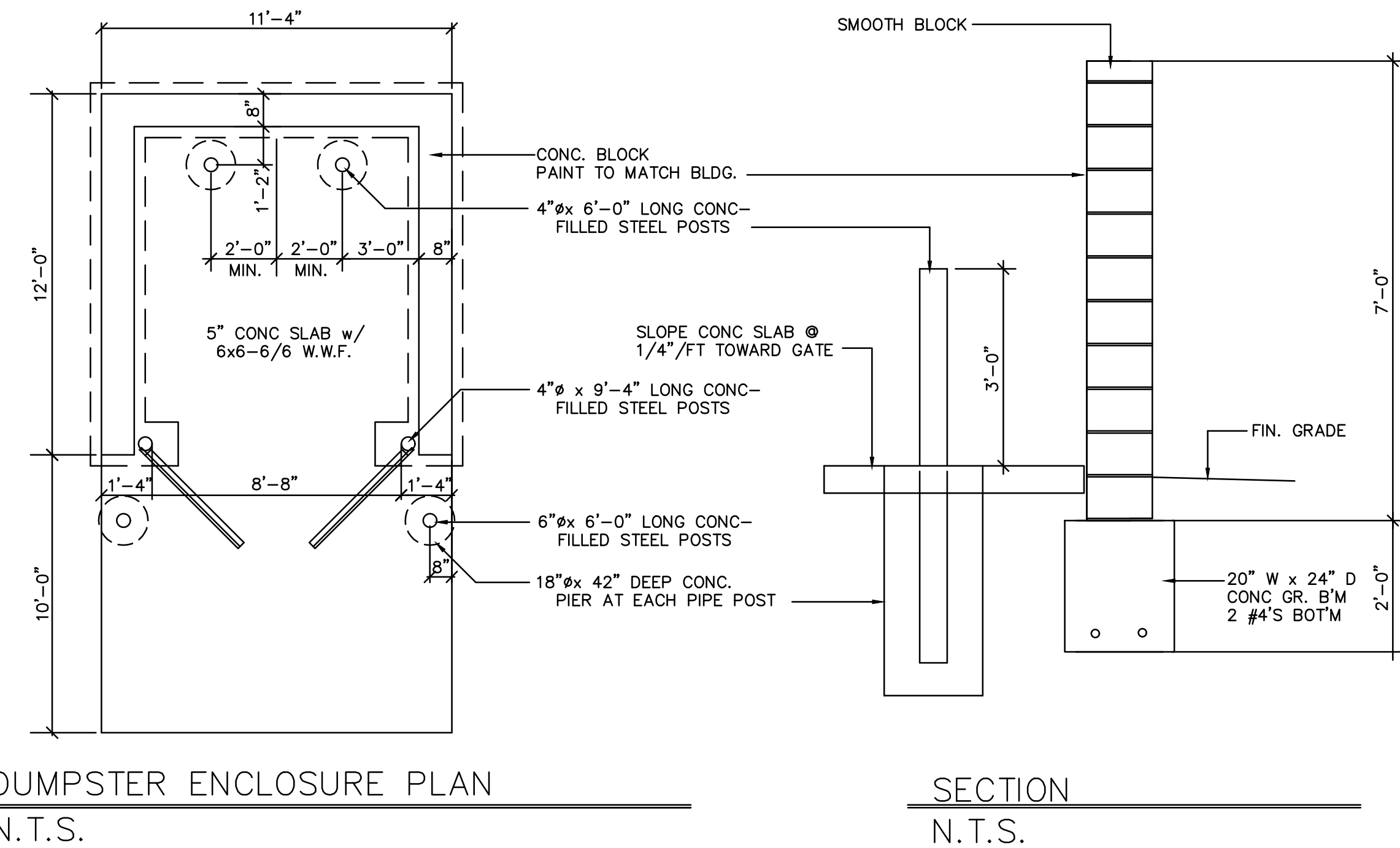
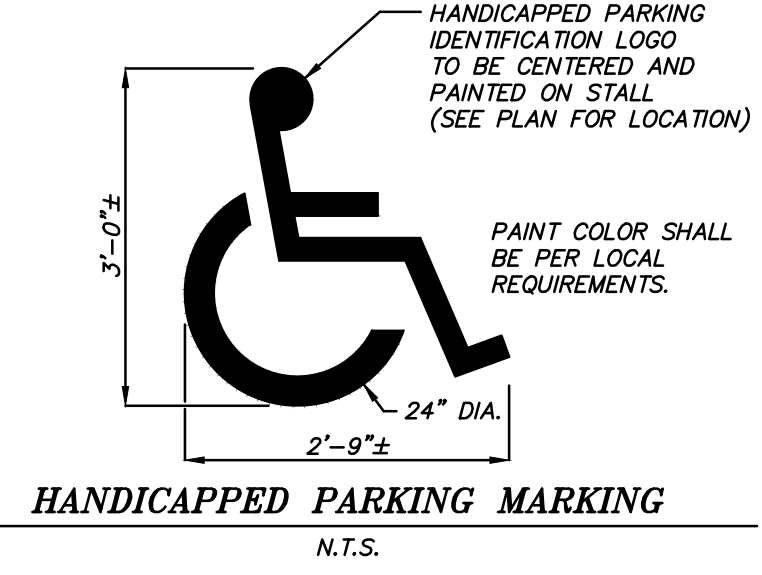
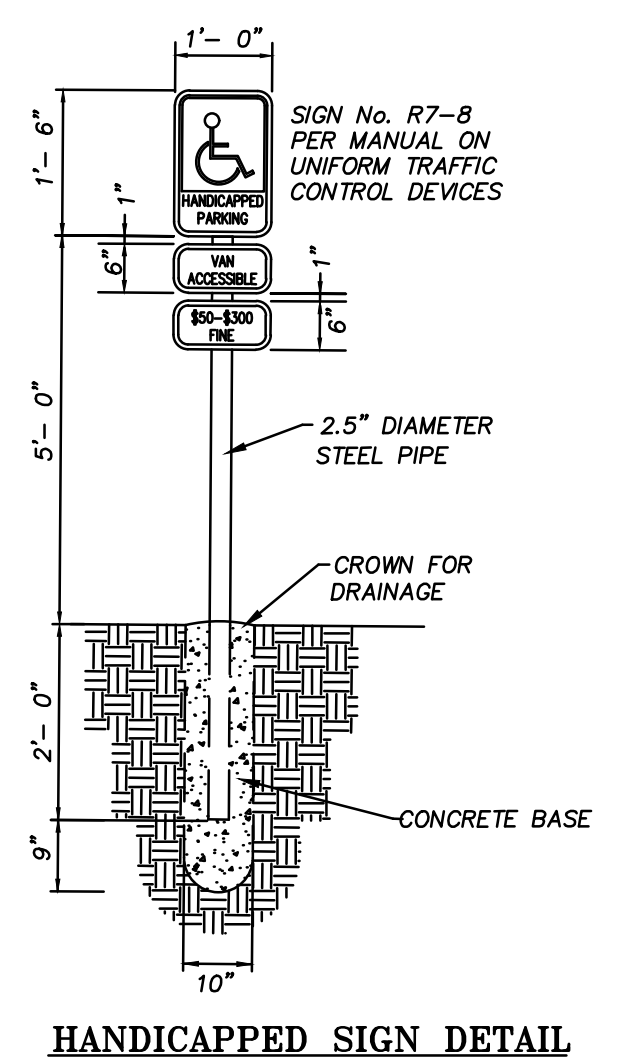
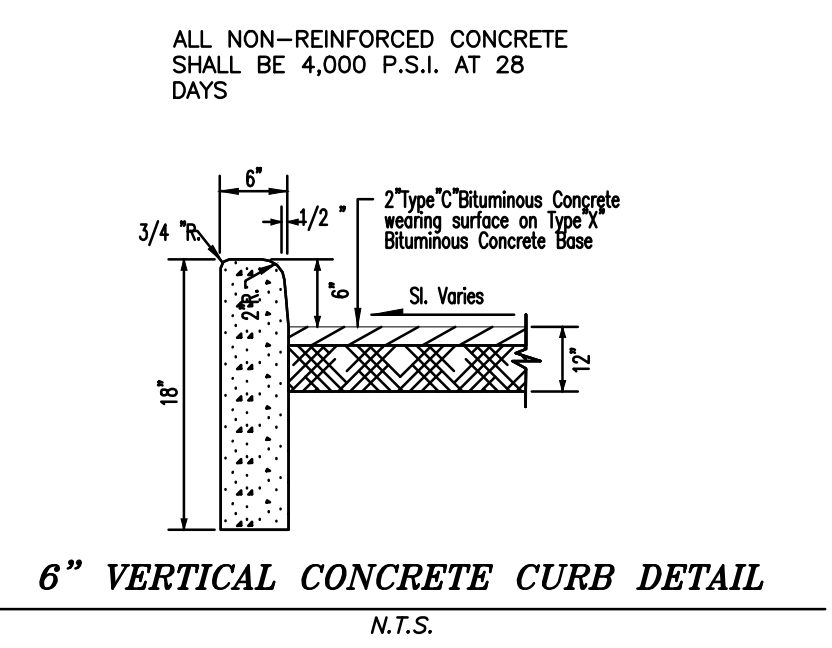
NO.	DATE	REVISION	DESCRIPTION







FOR REVIEW PURPOSES ONLY. REFER TO ARCHITECTURAL PLANS FOR ACTUAL DETAIL OF TRASH ENCLOSURE TO BE CONSTRUCTED



**REFERENCE**

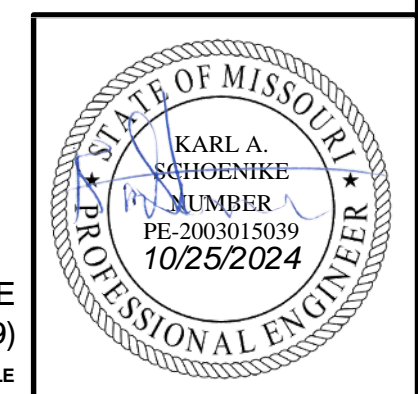
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811 or 1-800-344-7483  
https://missouri-811.org

KARL ANTHONY SCHOENIKE  
(MO PE#2003015039)  
\*HAND SIGNATURE ON FILE



PLEATED BOUTIQUE  
SITE PLAN  
DETAILS  
OCTOBER, 2024  
NO SCALE  
DRAWN BY: JJR  
CHECKED BY: KAS  
PROJECT NO: 345-921.001  
APPROVED BY: DST

PLEATED BOUTIQUE  
717 CROWN INDUSTRIAL COURT, SUITE F  
CHESTERFIELD, MO 63305  
DARDENNE PRAIRIE, MO

3000 Little Hills Expressway  
Suite 102  
St. Charles, MO 63301  
Ph: 314.656.4566  
www.cecinco.com  
Civil & Environmental  
Consultants, Inc.

NO	DATE	DESCRIPTION
1	10/25/2024	REVISED PER CITY COMMENTS

A:\140-2001\140-2001-0000\Drawings\DWG - Site Plan\145981-001-SPI-imp\DWG\1510102024 - 145981 - 10/25/2024.dwg



PDAM #8  
 RUNOFF TO AREA INLET 3.3  
 0.14 AC @ 10.0% IMP  
 PI = 1.80  
 Q = 0.24 CFS

PDAM #6  
 RUNOFF TO GRATE INLET 3.1  
 0.07 AC @ 89.6% IMP  
 PI = 3.34  
 Q = 0.23 CFS

PDAM #1  
 RUNOFF TO CURB INLET EX102  
 0.38 AC @ 40.5% IMP  
 PI = 2.39  
 Q = 0.90 CFS

PDAM #7  
 RUNOFF TO GRATE INLET 3.2  
 0.02 AC @ 100% IMP  
 PI = 3.54  
 Q = 0.08 CFS

PDAM #3  
 RUNOFF TO GRATE INLET 2.2  
 0.42 AC @ 96.2% IMP  
 PI = 3.47  
 Q = 1.47 CFS

PDAM #2  
 RUNOFF TO BASIN  
 0.19 AC @ 58.1% IMP  
 PI = 2.73  
 Q = 0.90 CFS

PDAM #5  
 RUNOFF TO GRATE INLET 2.4  
 0.22 AC @ 74.2% IMP  
 PI = 3.04  
 Q = 0.68 CFS

PDAM #4  
 RUNOFF TO GRATE INLET 2.3  
 0.01 AC @ 92.2% IMP  
 PI = 3.39  
 Q = 0.03 CFS

PDAM #10  
 RUNOFF TO EX. CURB INLET EX105  
 0.06 AC @ 45.7% IMP  
 PI = 2.49  
 Q = 0.15 CFS

PDAM #9  
 RUNOFF TO EX. CURB INLET EX104  
 0.03 AC @ 95.5% IMP  
 PI = 3.45  
 Q = 0.09 CFS

PDAM #11  
 RUNOFF TO EX. CURB INLET EX106  
 0.63 AC @ 72.8% IMP  
 PI = 3.01  
 Q = 1.91 CFS

PROPOSED TOTAL DRAINAGE AREAS (15-YR/20-MIN)									
DRAINAGE AREA	Description	Subareas	Area (SF)	Area (AC)	PI	Q (cfs)	PI (100/20)	Q (cfs) (100/20)	
PDAM #1	RUNOFF TO EX CI EX102	IMPERVIOUS	6,171	0.14	3.54	0.50	4.77	0.68	
		PERVIOUS	10,326	0.24	1.70	0.40	2.29	0.54	
		<b>TOTALS</b>	<b>16,497</b>	<b>0.38</b>	<b>2.39</b>	<b>0.90</b>	<b>1.22</b>		
PDAM #2	RUNOFF TO BASIN	IMPERVIOUS	4,680	0.11	3.54	0.38	4.77	0.51	
		PERVIOUS	3,694	0.08	1.70	0.14	2.29	0.19	
		<b>TOTALS</b>	<b>8,374</b>	<b>0.19</b>	<b>2.73</b>	<b>0.52</b>	<b>0.71</b>		
PDAM #3	RUNOFF TO GI 2.2	IMPERVIOUS	17,738	0.41	3.54	1.44	4.77	1.94	
		PERVIOUS	740	0.02	1.70	0.03	2.29	0.04	
		<b>TOTALS</b>	<b>18,478</b>	<b>0.42</b>	<b>3.47</b>	<b>1.47</b>	<b>1.98</b>		
PDAM #4	RUNOFF TO CI 2.3	IMPERVIOUS	411	0.01	3.54	0.03	4.77	0.05	
		PERVIOUS	37	0.00	1.70	0.00	2.29	0.00	
		<b>TOTALS</b>	<b>448</b>	<b>0.01</b>	<b>3.39</b>	<b>0.03</b>	<b>0.05</b>		
PDAM #5	RUNOFF TO CI 2.4	IMPERVIOUS	7,121	0.16	3.54	0.58	4.77	0.78	
		PERVIOUS	2,659	0.06	1.70	0.10	2.29	0.14	
		<b>TOTALS</b>	<b>9,780</b>	<b>0.22</b>	<b>3.04</b>	<b>0.68</b>	<b>0.92</b>		
PDAM #6	RUNOFF TO CI 3.1	IMPERVIOUS	2,651	0.06	3.54	0.22	4.77	0.29	
		PERVIOUS	327	0.01	1.70	0.01	2.29	0.02	
		<b>TOTALS</b>	<b>2,978</b>	<b>0.07</b>	<b>3.34</b>	<b>0.23</b>	<b>0.31</b>		
PDAM #7	RUNOFF TO CI 3.2	IMPERVIOUS	1,020	0.02	3.54	0.08	4.77	0.11	
		PERVIOUS	0	0.00	1.70	0.00	2.29	0.00	
		<b>TOTALS</b>	<b>1,020</b>	<b>0.02</b>	<b>3.54</b>	<b>0.08</b>	<b>0.11</b>		
PDAM #8	RUNOFF TO CI 3.3	IMPERVIOUS	312	0.01	3.54	0.03	4.77	0.03	
		PERVIOUS	5,626	0.13	1.70	0.22	2.29	0.30	
		<b>TOTALS</b>	<b>5,938</b>	<b>0.14</b>	<b>1.80</b>	<b>0.24</b>	<b>0.33</b>		
PDAM #9	RUNOFF TO EX CI EX104	IMPERVIOUS	1,098	0.03	3.54	0.09	4.77	0.12	
		PERVIOUS	54	0.00	1.70	0.00	2.29	0.00	
		<b>TOTALS</b>	<b>1,152</b>	<b>0.03</b>	<b>3.45</b>	<b>0.09</b>	<b>0.12</b>		
PDAM #10	RUNOFF TO EX CI EX105	IMPERVIOUS	1,091	0.03	3.54	0.09	4.77	0.12	
		PERVIOUS	1,457	0.03	1.70	0.06	2.29	0.08	
		<b>TOTALS</b>	<b>2,548</b>	<b>0.06</b>	<b>2.49</b>	<b>0.15</b>	<b>0.20</b>		
PDAM #11	RUNOFF TO EX CI EX106	IMPERVIOUS	19,708	0.45	3.54	1.60	4.77	2.16	
		PERVIOUS	7,891	0.18	1.70	0.31	2.29	0.41	
		<b>TOTALS</b>	<b>27,599</b>	<b>0.63</b>	<b>3.01</b>	<b>1.91</b>	<b>2.57</b>		
<b>PROPOSED DRAINAGE AREA TOTALS</b>			<b>94,812</b>	<b>2.18</b>	<b>6.32</b>	<b>8.51</b>			



NO.	DATE	DESCRIPTION

3000 Little Hills Expressway  
 Suite 102  
 St. Charles, MO 63301  
 Ph: 314.656.4566  
 www.cecinco.com

**C&E**  
 Civil & Environmental  
 Consultants, Inc.

**PLEATED BOUTIQUE**  
**717 CROWN INDUSTRIAL COURT, SUITE F**  
**CHESTERFIELD, MO 63305**  
**DARDENNE PRAIRIE, MO**

**PLEATED BOUTIQUE**  
**SITE PLAN**  
**STORMWATER MANAGEMENT PLAN**  
**POST-DEVELOPED DRAINAGE AREA MAP**

DATE: OCTOBER 2024  
 DRAWN BY: KARL ANTHONY SCHOENIKE  
 PROJECT NO: 345-921.001  
 1"=20'  
 CHECKED BY: JLR  
 APPROVED BY: JLR



SCALE IN FEET  
 0 20 40  
 KARL ANTHONY SCHOENIKE  
 (MO PE#2003015039)  
 \*HAND SIGNATURE ON FILE

**STORMWATER DETENTION CALCULATIONS**  
 ALL CALCULATIONS PERFORMED USING HYDRAFLOW HYDROGRAPHS  
 PRE-DEVELOPED CONDITIONS

AREA: 1.40 ACRES  
 DESCRIPTION: OPEN SPACE, FAIR CONDITION  
 SOIL GROUP: C  
 CURVE NUMBER: 79  
 TIME OF CONCENTRATION: 5.0 MINUTES

2 YEAR, 24 HOUR STORM: 4.54 CFS  
 25 YEAR, 24 HOUR STORM: 8.68 CFS  
 100 YEAR, 24 HOUR STORM: 11.32 CFS

**POST DEVELOPED BYPASS**

2 YEAR, 24 HOUR STORM: 1.72 CFS  
 25 YEAR, 24 HOUR STORM: 3.30 CFS  
 100 YEAR, 24 HOUR STORM: 4.30 CFS

**POST DEVELOPED AFTER DETENTION**

2 YEAR, 24 HOUR STORM: 1.62 CFS  
 2 YEAR HIGH WATER ELEV: 609.12 FT  
 25 YEAR, 24 HOUR STORM: 5.65 CFS  
 25 YEAR HIGH WATER ELEV: 609.68 FT  
 100 YEAR, 24 HOUR STORM: 8.72 CFS  
 100 YEAR HIGH WATER ELEV: 609.93 FT

**POST DEVELOPED TO BASIN**

AREA: 0.41 ACRES  
 DESCRIPTION: COMMERCIAL (85% IMPERVIOUS)  
 SOIL GROUP: D  
 CURVE NUMBER: 95  
 TIME OF CONCENTRATION: 5.00 MINUTES

2 YEAR, 24 HOUR STORM: 1.85 CFS  
 25 YEAR, 24 HOUR STORM: 3.004 CFS  
 100 YEAR, 24 HOUR STORM: 3.805 CFS

**POST DEVELOPED TO BASIN**

ELEV (FT) AREA (SQ FT) VOLUME (CU FT)  
 607.0 0 0  
 608.0 1,185 593  
 609.0 3,004 2,687  
 610.0 3,805 6,092  
 611.0 4,680 10,334

**WATER QUALITY**

A BIOTENTION BASIN WITH A FOREBAY IS PROPOSED TO MEET THE WATER QUALITY STANDARDS FOR THIS SITE.

**SOIL CHARACTERISTICS**  
 UNITED STATE DEPARTMENT OF AGRICULTURE (USDA)  
 NATURAL RESOURCES CONSERVATION SERVICE (NRCS)

SOIL UNIT SYMBOL PERCENT OF SITE SOIL NAME  
 99032 100.0% URBAN LAND-ORIENTS COMPLEX

**URBAN LAND-ORIENTS COMPLEX, 1 TO 9 PERCENT SLOPES**  
 LANDFORM: HILLSLOPE  
 DEPTH OF RESTRICTIVE FEATURES: MORE THAN 80 INCHES  
 DEPTH TO WATER TABLE: MORE THAN 80 INCHES  
 FREQUENCY OF FLOODING: NONE  
 HYDROLOGIC SOIL GROUP: C  
 HYDRIC SOIL RATING: NO

**REFERENCE**

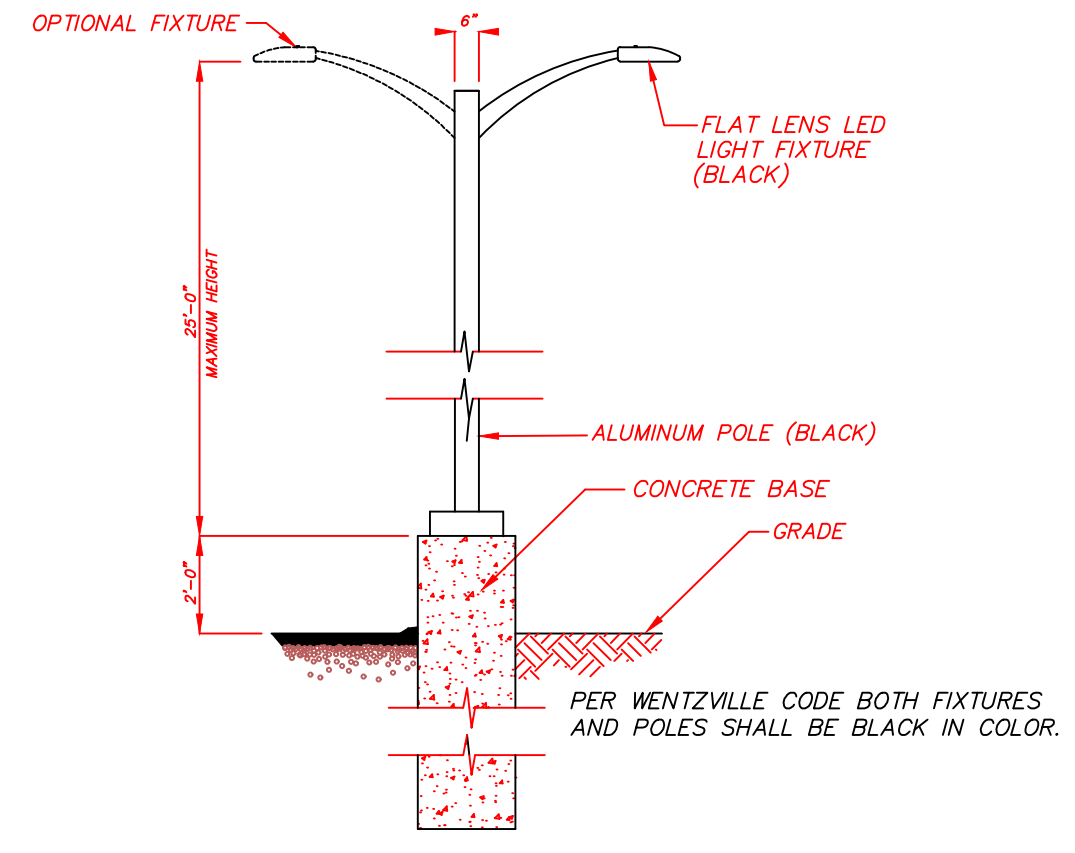
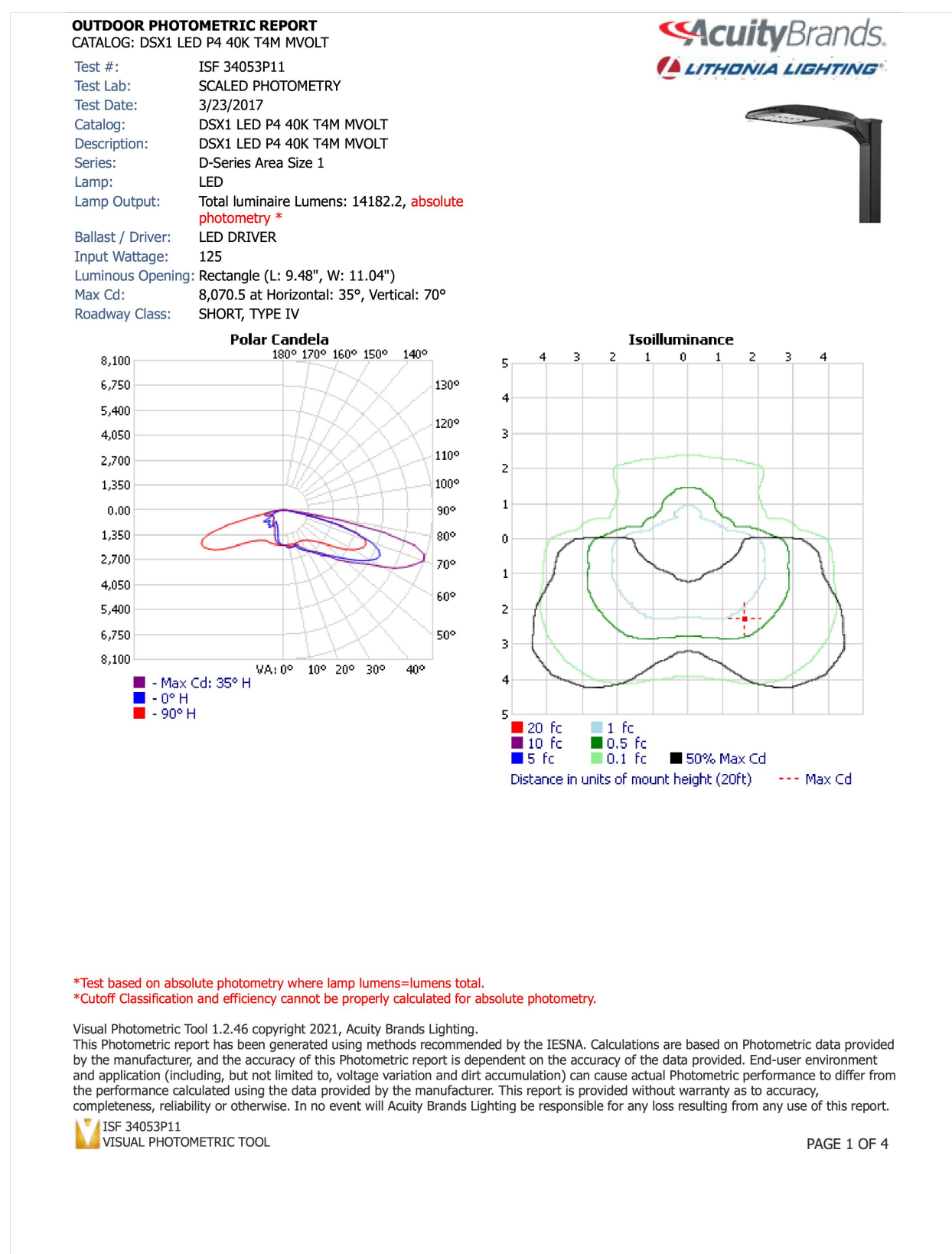
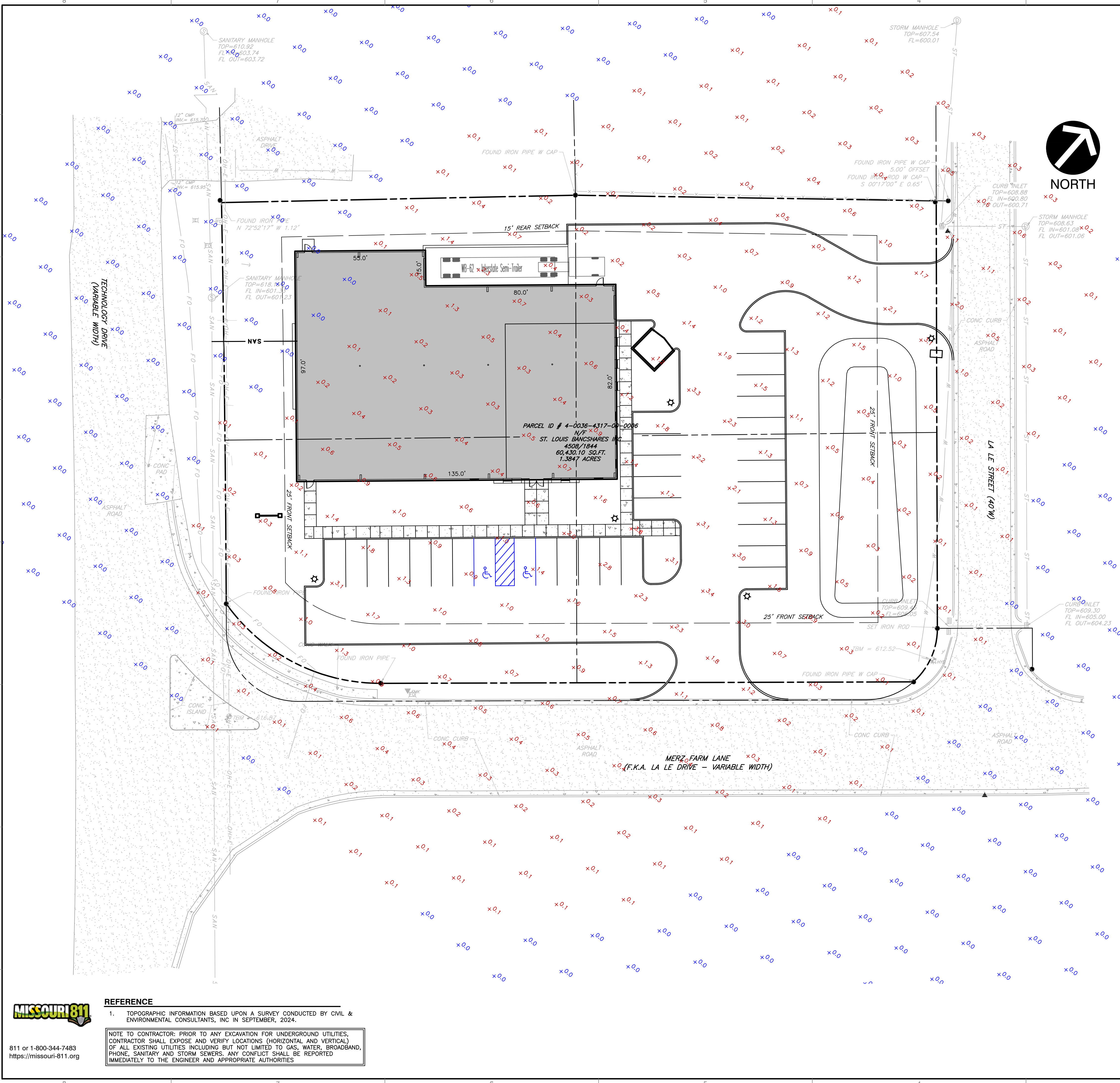
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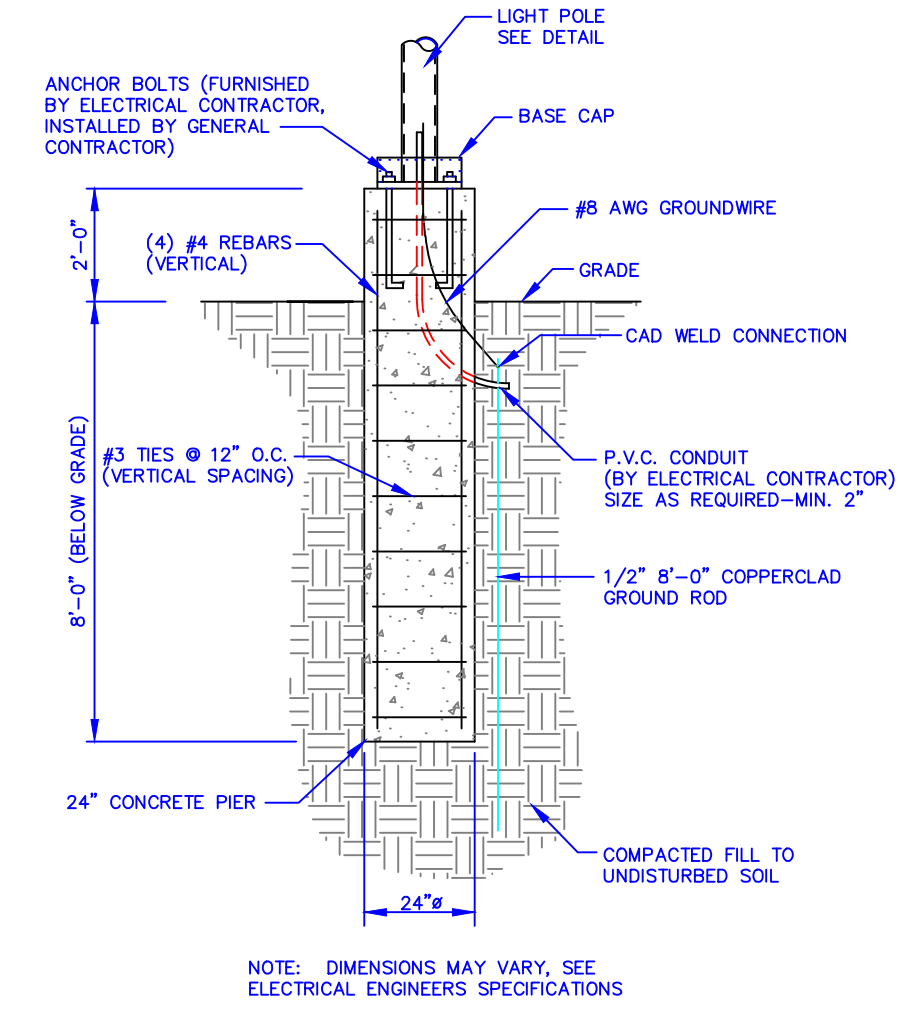
MISSOURI 811  
 811 or 1-800-344-7483  
 https://missouri-811.org

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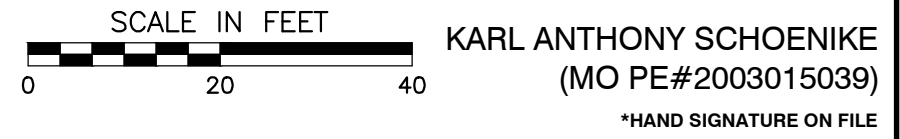




**LIGHT POLE DETAIL**



**LIGHT POLE BASE DETAIL**  
 N.T.S.



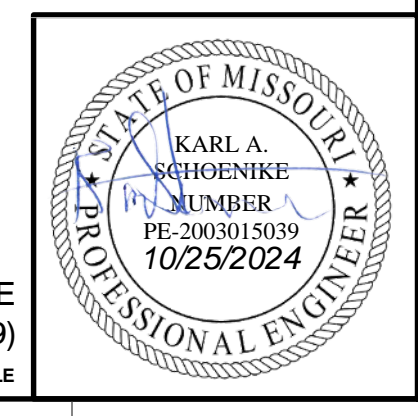
NO.	DATE	REVISION	DESCRIPTION

3000 Little Hills Expressway  
 Suite 102  
 St. Charles, MO 63301  
 Ph: 314.656.4566  
 www.cecinc.com



**PLEATED BOUTIQUE**  
**717 CROWN INDUSTRIAL COURT, SUITE F**  
**CHESTERFIELD, MO 63305**  
**DARDENNE PRAIRIE, MO**

DATE:	OCTOBER, 2024	DRAWN BY:	JUR
DWG SCALE:	1"=20'	CHECKED BY:	KAS
PROJECT NO.:	345-921,000	APPROVED BY:	DST



DRAWING NO.:  
**SP08**  
 SHEET 08 OF 08

**MISSOURI 811**  
 811 or 1-800-344-7483  
 https://missouri-811.org

**REFERENCE**  
 1. TOPOGRAPHIC INFORMATION BASED UPON A SURVEY CONDUCTED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC IN SEPTEMBER, 2024.

**NOTE TO CONTRACTOR:** PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, BROADBAND, PHONE, SANITARY AND STORM SEWERS. ANY CONFLICT SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND APPROPRIATE AUTHORITIES

A:\140-2001\140-921-000\DWG\SP08 - Site Plan\145981-001-SP1.dwg (8/25/2024 4:37 PM) - LP: 10/25/2024 4:37 PM



The City of Dardenne Prairie Planning & Zoning Commission meeting was called to order at 7:02 p.m. The meeting was held at the Dardenne Prairie City Hall located at 2032 Hanley Road.

The meeting was opened with the Pledge of Allegiance.

Present at roll call were Alderman Detweiler, Commissioners Fry, Northcutt, Musler, Ogle, Pollard, Stankovich and Wooldridge. Chairman Etzkorn and Commissioner Bailey were absent. Also present were City Clerk Kim Clark, City Planning & Development Manager Todd Streiler and City Attorney Drew Weber.

PUBLIC COMMENT – No one present to speak.

**PUBLIC HEARINGS**

A motion was made by Commissioner Northcutt, seconded by Commissioner Pollard to open the public hearing. Motion passed unanimously.

1. **CUP & Area Plan Request – Prairie Ridge Animal Hospital:** Engenuity has submitted a CUP Application to allow “Veterinarian” as a permitted use for and a 8,200 SF veterinarian facility on Lot 6 of the Prairie Encore located on the north side of Fiese Road, just west of Bryan Road. The site is 1.6 acres and zoned “C3” General Commercial “PUD” Planned Unit Development and more particularly described in the CUP Application received on September 10, 2024, on file with the City Clerk from Applicant.

Sean Ackley of Engenuity was in attendance to present the request.

The following individuals spoke on the public hearing:

Cheryl Bratton

A motion was made by Commissioner Musler, seconded by Commissioner Northcutt to close the public hearing. Motion passed unanimously.

A motion was made by Commissioner Musler, seconded by Commissioner Ogle to open the public hearing. Motion passed unanimously.

2. **CUP & Site Plan Request – Animal Dental Care & Surgery St. Louis, LLC:** Johnathan James, Owner of Animal Dental Care & Surgery St. Louis, LLC has submitted a Site Plan CUP Application to allow “Veterinarian” as a permitted use at 1012 Rondale Court located in the Dardenne Prairie Professional Park located on the north side of Highway N, just east of Stump Road. The building is 7,150 SF and zoned “C2” General Commercial and more particularly described in the CUP Application received on August 27, 2024, on file with the City Clerk from Applicant

A motion was made by Commissioner Ogle, seconded by Commissioner Pollard to close the public hearing. Motion passed unanimously.

A motion was made by Commissioner Ogle, seconded by Commissioner Stankovich to open the public hearing. Motion passed unanimously.

- 3. **CUP Request - Town Square Commercial:** Kumara Vadivelu, owner of Azack Construction, Kumar Commercial has submitted a CUP Application for various commercial uses for the 5,000 SF building located at 300-324 Town Square Avenue. The building is 5,000 SF and zoned “C2” General Commercial “PUD” Planned Unit Development and more particularly described in the CUP Application received on August 29, 2024, on file with the City Clerk from Applicant.

A motion was made by Commissioner Northcutt, seconded by Commissioner Pollard to close the public hearing. Motion passed unanimously.

**NEW BUSINESS**

- 1. **CUP & Area Plan Request – Prairie Ridge Animal Hospital:** Engenuity has submitted a CUP Application to allow “Veterinarian” as a permitted use for and a 8,200 SF veterinarian facility on Lot 6 of the Prairie Encore located on the north side of Fiese Road, just west of Bryan Road. The site is 1.6 acres and zoned “C2” General Commercial “PUD” Planned Unit Development and more particularly described in the CUP Application received on September 10, 2024, on file with the City Clerk from Applicant.

A motion was made by Commissioner Ogle, seconded by Commissioner Musler to recommend approval of the Conditional Use Permit for the Prairie Ridge Animal Hospital. Roll call vote was as follows:

Chairman Etzkorn – Absent	Commissioner Bailey – Absent
Commissioner Stankovich – Aye	Commissioner Fry – Aye
Commissioner Wooldridge – Nay	Commissioner Musler – Aye
Commissioner Pollard – Nay	Commissioner Ogle – Aye
Commissioner Northcutt - Nay	

A motion was made by Commissioner Ogle, seconded by Commissioner Musler to recommend approval of the Area Plan for the Prairie Ridge Animal Hospital. Roll call vote was as follows:

Commissioner Pollard – Aye	Commissioner Fry – Nay
Commissioner Northcutt – Nay	Commissioner Musler – Aye
Commissioner Bailey – Absent	Commissioner Ogle – Aye
Chairman Etzkorn – Absent	Commissioner Wooldridge – Nay
Stankovich – Aye	Commissioner

- 2. **CUP & Site Plan Request – Animal Dental Care & Surgery St. Louis, LLC:** Johnathan James, Owner of Animal Dental Care & Surgery St. Louis, LLC has submitted a Site Plan CUP Application to allow “Veterinarian” as a permitted use at 1012 Rondale Court located in the Dardenne Prairie Professional Park located on the north side of Highway N, just east of Stump Road. The building is 7,150 SF and zoned “C2” General Commercial and more particularly described in the CUP Application received on August 29, 2024, on file with the City Clerk from Applicant.

A motion was made by Commissioner Musler, seconded by Commissioner Northcutt to recommend approval of the Conditional Use Permit for the Animal Dental Care & Surgery St. Louis, LLC with the condition that the site landscaping including the bio retention areas be brought up to the previously approved landscape plan. Motion passed unanimously.

## PLANNING & ZONING WORK SESSION MINUTES    OCTOBER 9, 2024

The City of Dardenne Prairie Planning & Zoning Commission work session meeting was called to order at 6:00 p.m. The meeting was held at the Dardenne Prairie City Hall located at 2032 Hanley Road.

The meeting was opened with the Pledge of Allegiance.

Present at roll call were Alderman Detweiler, Commissioners Fry, Northcutt, Musler, Ogle, Stankovich and Wooldridge. Commissioner Pollard arrived at approximately 6:03 pm. Chairman Etzkorn and Commissioner Bailey were absent. Also present were City Clerk Kim Clark, City Planning & Development Manager Todd Streiler and City Attorney Drew Weber.

### ITEMS FOR DISCUSSION

- 1. CUP & Area Plan Request – Prairie Ridge Animal Hospital:** Engenuity has submitted a CUP Application to allow “Veterinarian” as a permitted use for and a 8,200 SF veterinarian facility on Lot 6 of the Prairie Encore located on the north side of Fiese Road, just west of Bryan Road. The site is 1.6 acres and zoned “C3” General Commercial “PUD” Planned Unit Development and more particularly described in the CUP Application received on September 10, 2024, on file with the City Clerk from Applicant.
- 2. CUP & Site Plan Request – Animal Dental Care & Surgery St. Louis, LLC:** Johnathan James, Owner of Animal Dental Care & Surgery St. Louis, LLC has submitted a Site Plan CUP Application to allow “Veterinarian” as a permitted use at 1012 Rondale Court located in the Dardenne Prairie Professional Park located on the north side of Highway N, just east of Stump Road. The building is 7,150 SF and zoned “C2” General Commercial and more particularly described in the CUP Application received on August 27, 2024, on file with the City Clerk from Applicant
- 3. CUP Request - Town Square Commercial:** Kumara Vadivelu, owner of Azack Construction, Kumar Commercial has submitted a CUP Application for various commercial uses for the 5,000 SF building located at 300-324 Town Square Avenue. The building is 5,000 SF and zoned “C2” General Commercial “PUD” Planned Unit Development and more particularly described in the CUP Application received on August 29, 2024, on file with the City Clerk from Applicant.

### ADJOURNMENT

Without objection the meeting was adjourned at 6:50 p.m.

Respectfully submitted,

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Kim Clark, City Clerk

3. **CUP Request - Town Square Commercial:** Kumara Vadivelu, owner of Azack Construction, Kumar Commercial has submitted a CUP Application for various commercial uses for the 5,000 SF building located at 300-324 Town Square Avenue. The building is 5,000 SF and zoned "C2" General Commercial "PUD" Planned Unit Development and more particularly described in the CUP Application received on August 29, 2024, on file with the City Clerk from Applicant.

A motion was made by Commissioner Wooldridge, seconded by Commissioner Musler to recommend approval of the Conditional Use Permit for the Town Square Commercial with the condition the site be brought up to a finished completion around the building for that lot within six months. Motion passed unanimously.

**APPROVAL OF MINUTES**

1. Approval of 09-11-24 Minutes

A motion was made by Commissioner Ogle, seconded by Commissioner Pollard to approve the 09-11-24 minutes. Motion passed unanimously.

**COMMISSION COMMUNICATIONS**

Commissioner Wooldridge mentioned a recent article on KSDK regarding a medical center in Webster Groves. In the article it included an extensive staff report on the history and zoning of the property. He requested the Commission review the article and be prepared to discuss it in the future. He feels it is very important to get all the information possible before reaching a decision.

**ADJOURNMENT**

A motion was made by Commissioner Stankovich, seconded by Commissioner Northcutt to adjourn the meeting at 8:01 p.m.

Respectfully submitted,

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Kim Clark, City Clerk